

# TYDD ST GILES PARISH COUNCIL

**Parrock View, 358 High Road, Newton-in-the-Isle, PE13 5HS**

Tel 01945 870083 ~ Mobile 07932 191050 ~ Email [clerk@tyddstgilesparishcouncil.org.uk](mailto:clerk@tyddstgilesparishcouncil.org.uk)

Clerk D Gibbs

16th December 2025

## To Members of the Public and Press

You are invited to attend a meeting of the Planning Committee of Tydd St Giles Parish Council, which will be held in **Newton Village Hall, Church Lane, Newton-in-the-Isle, PE13 5HF** on **Monday 22<sup>nd</sup> December 2025 at 7.30pm**, for the purpose of transacting the following business.

Members of the public and press are invited to attend this meeting.

Yours sincerely

*D Gibbs*

Clerk/Proper Officer

## A G E N D A

All members are reminded that they need to declare any personal or prejudicial interest and reason before an item discussed at this meeting, under the Model Code of Conduct Order 2001 No 3576.

### 005/25 Apologies for Absence

*To receive and consider apologies for absence on behalf of those members not present.*

### 006/25 Planning Applications

*To consider the following planning applications and agree the Council's response:*

- a) *F/YR25/0883/F - Conversion of existing barns to 1 x self-build/custom build dwelling and the formation of an access - Barns North East of Park House, Park Road, Tydd St Giles*
- b) *F/YR25/0884/LB - Internal and external works to a curtilage listed building to enable the conversion of existing barns to 1 x dwelling - Barns North East of Park House, Park Road, Tydd St Giles*
- c) *F/YR25/0894/F - Erect a garage/workshop in the north garden and 1.8m high gates to front boundary of existing dwelling, and relocation of oil tank - Park House, Park Road, Tydd St Giles*
- d) *F/YR25/0887/VOC - Variation of conditions 4 (access, parking and turning areas), 5 (visibility splays) and 6 (list of approved drawings) relating to planning permission F/YR22/1035/F (Erect 2 x dwellings (2-storey, 4-bed) and change of use of land to form additional car park at Aayo Gurkhali) - change of car park materials - Land South of Aayo Gurkhali, Main Road, Tydd Gote*
- e) *F/YR25/0902/VOC - Variation of conditions 2 (materials) and 5 (list of approved drawings) of planning permission F/YR25/0155/F (Erection of first floor side extension, single-storey rear extension, installation of bay window to front, and external alterations) - change to approved materials - Pretoria House, Church Lane, Tydd St Giles*
- f) *F/YR25/0941/TRTPO - Works to 4 x Beech Trees covered by TPO 04/1970 - Beechwood Farm, Grangehill Road, Tydd St Giles*

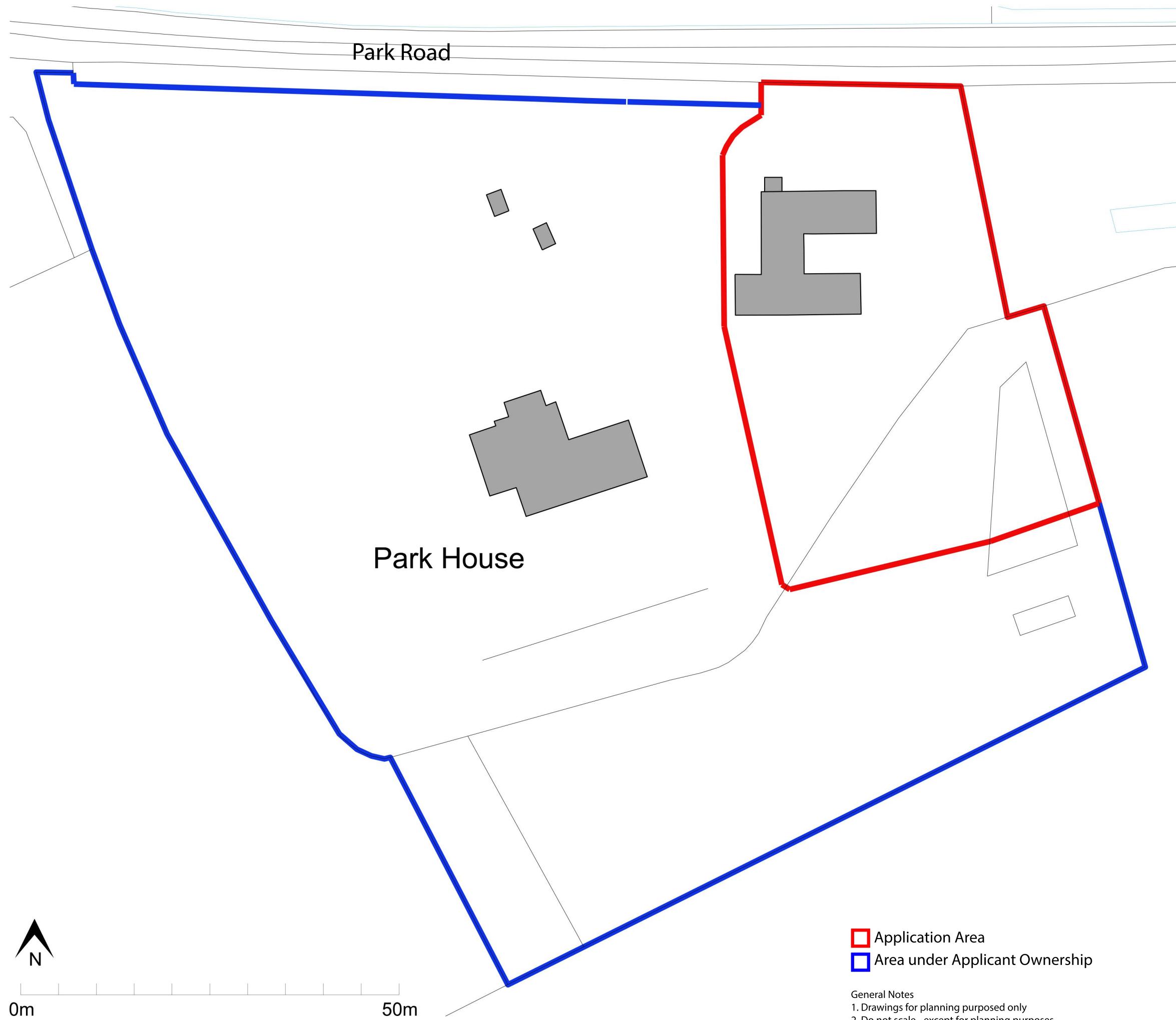
g) *F/YR25/0947/PIP - Permission in Principle for up to 9 x dwellings - Land North of Coopers Farm, Church Lane, Tydd St Giles*

**007/25 Update on Recent Planning Applications**

*To receive an update on applications considered at previous meetings.*

**008/25 Other Planning Matters**

*To consider any other matters within the remit of the Planning Committee.*

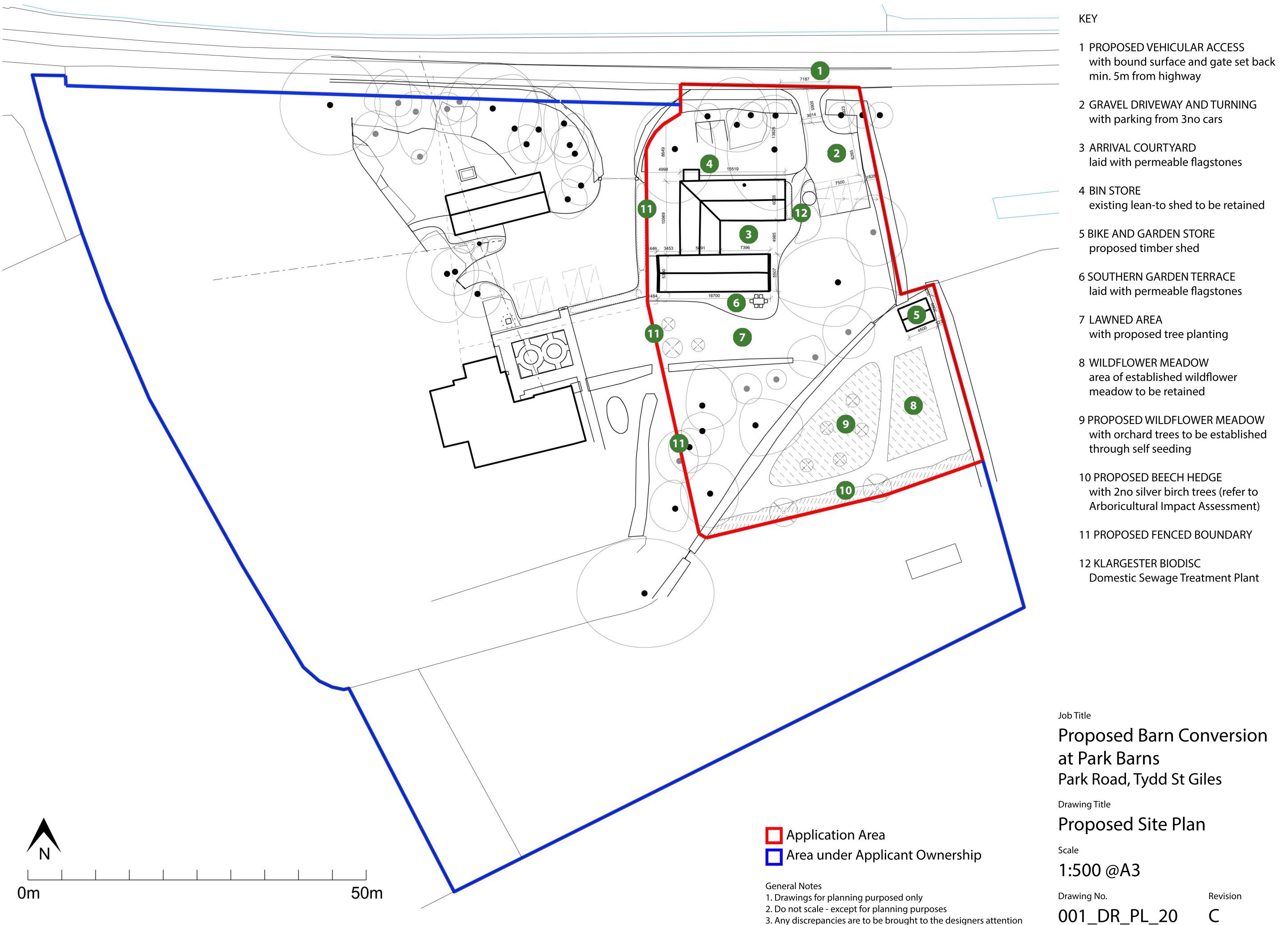


Job Title  
**Proposed Barn Conversion  
at Park Barns  
Park Road, Tydd St Giles**

Drawing Title  
**Existing Block Plan**

Scale  
**1:500 @A3**

Drawing No. **001\_DR\_PL\_02** Revision **A**





## **Schedule of Works to Park Barns**

(For Planning Purposes Only)

### **1 External Works to Barn**

#### **1.1 Structural Work**

1.1.1 Including but not limited to – structural underpinning of the barn in accordance with Structural Engineers Specification – please refer to Structural Survey of Park Barns by Morton Consulting Engineers

#### **1.2 External Walls**

1.2.1 Removal of ivy and vegetation to be undertaken with an ecological watching brief and in accordance with bat licensing conditions – refer to ECIA by Torc Ecology  
1.2.2 Structural repairs in accordance with Structural Engineers Specification  
1.2.3 Repairs to brick work – damaged bricks to be replaced like for like  
1.2.4 Repairs to mortar – repairs to be in lime mortar colour matched to existing

#### **1.3 Roof**

1.3.1 Corrugated asbestos roof to be removed from Main Barn by qualified persons and disposed of in accordance with regulations  
1.3.2 Rafters to be repaired / replaced / structurally reinforced to take load of replacement roof in accordance with Structural Engineers Specification  
1.3.3 Roof finished to be slate to match Rear Stable Building  
1.3.4 Roof to Rear Stable Building to be repaired as necessary with replacement slates to match existing  
1.3.5 Rafters to be repaired / replaced in accordance with Structural Engineers Specification

#### **1.4 Misc External Features**

1.4.1 Rainwater goods to be replaced with black painted cast aluminium to match Park House  
1.4.2 Flue to be black painted / powder coated aluminium to match rainwater goods

### **2 Windows and Doors**

#### **2.1 Windows and Doors to Main Barn**

2.1.1 To be replaced with double glazed timber units, with window glazing bar patterns to replicate the existing  
2.1.2 Ground floor windows to have a pair of outward opening top lights - replicating the original opening method of the windows – 5no to replace existing windows and 4no proposed windows in existing brick/blind openings.

- 2.1.3 First floor windows to have tilt and turn opening mechanism – to replicate the original inward tilting windows – 5no to replace existing and 3no proposed in existing bricked/blind openings.
- 2.1.4 4no replacement double glazed timber doors installed at ground floor

## 2.2 Windows and Doors to Rear Stable Building

- 2.2.2 To be replaced with double glazed timber units, with window glazing bar patterns to replicate the existing - 3no replacement windows and 3no proposed windows
- 2.2.3 Opening to the cart bay to be sliding glazed doors with the existing external shutters on the sliding track to be replicated with the existing hardware retained and reused where possible

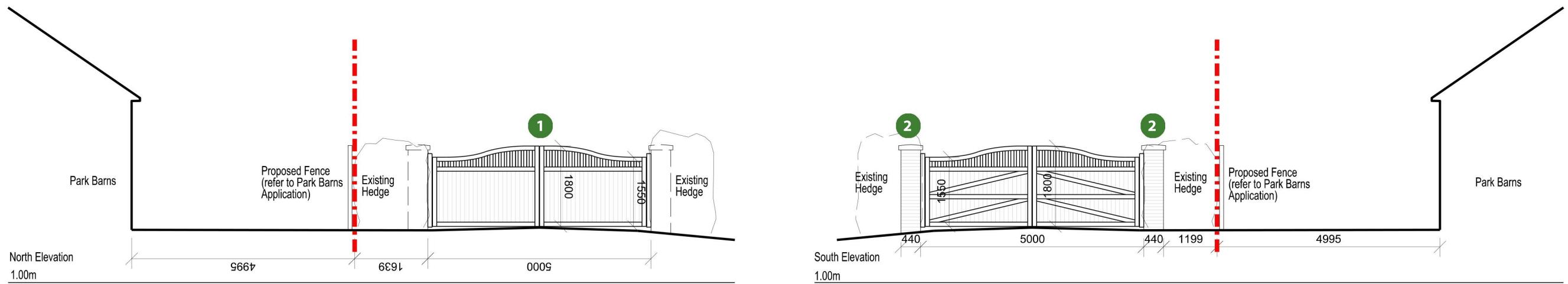
## 3 Internal Works to Barn

### 3.1 Internal Work to Main Barn

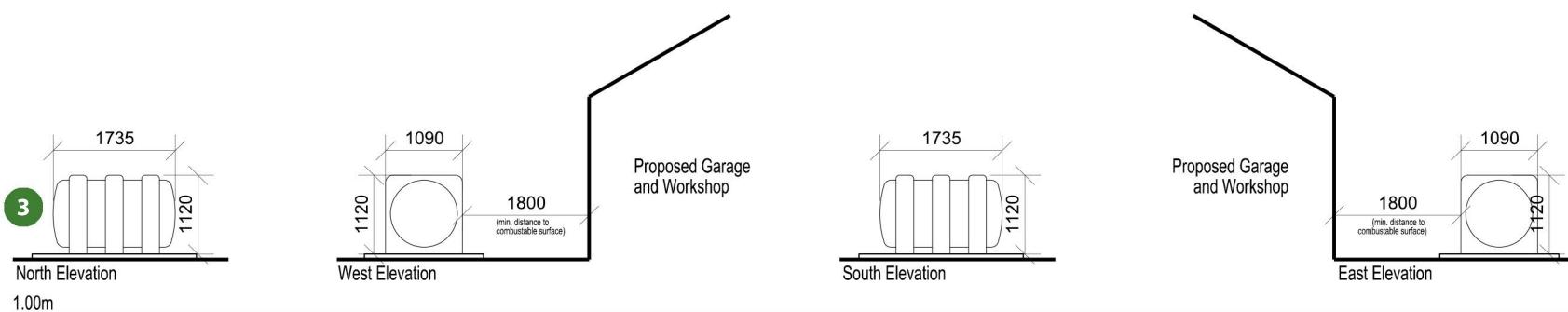
- 3.1.2 Strip out internally including timber partitions and internal wall linings (later addition)
- 3.1.3 Remove wall at ground floor to form new kitchen dining room with support column in accordance with Structural Engineers Specification as indicated on plans
- 3.1.4 Demolish fireplace (later addition) to form new opening to western end room and reopen historic opening to the northern elevation to link into the Rear Stable Building
- 3.1.5 Retain internal first floor hatch to Rear Stable Building – with addition of balustrade for protection from falling
- 3.1.6 Strip out existing stair (condition deemed to be unsalvageable) to be replaced with like for like new timber stair
- 3.1.7 Repair and replace timber first floor in accordance with Structural Engineers Specification
- 3.1.8 Internally line solid brick external walls with insulation to meet current building regulations
- 3.1.9 Internally insulate replacement slate roof (replacing asbestos)
- 3.1.10 At first floor insert new internal walls in accordance with first floor plan layout

### 3.2 Internal Work to Rear Stable Building

- 3.2.2 Strip out internally including stable partitions and ceiling finishes
- 3.2.3 Create new opening to link stables to cart bay
- 3.2.4 Insert raised floor as indicated on ground floor plans
- 3.2.5 Internally line solid brick external walls with insulation to meet current building regulations
- 3.2.6 Internally insulate existing slate roof
- 3.2.7 Insert new internal walls in accordance with ground floor plan layout



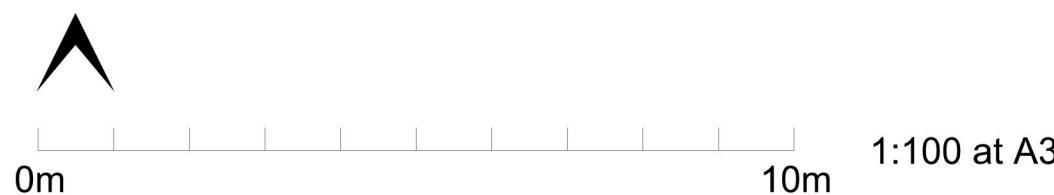
Elevations of Proposed Gates



Elevations of Relocated Existing Oil Tank

**KEY**

- 1 TIMBER GATES
- 2 BRICK PIERS  
Brickwork to match existing garden walls at Park House
- 3 EXISTING OIL TANK  
Oil tank to be relocated



General Notes  
 1. Drawings for planning purposes only  
 2. Do not scale - except for planning purposes  
 3. Any discrepancies are to be brought to the designers attention

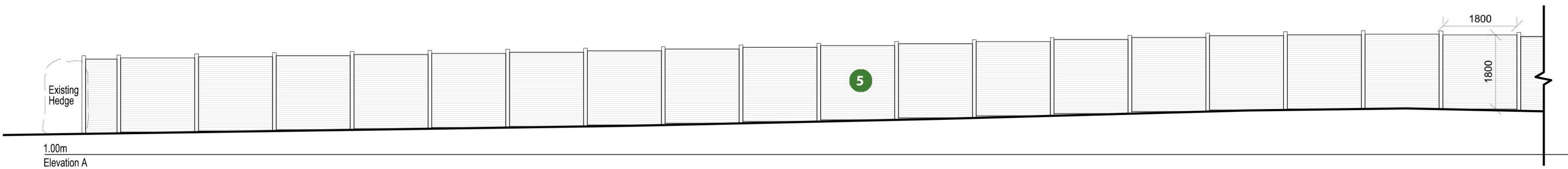
Job Title  
**Proposed Garage and Workshops at Park House**  
 Park Road, Tydd St Giles

Drawing Title  
**Proposed Elevations**

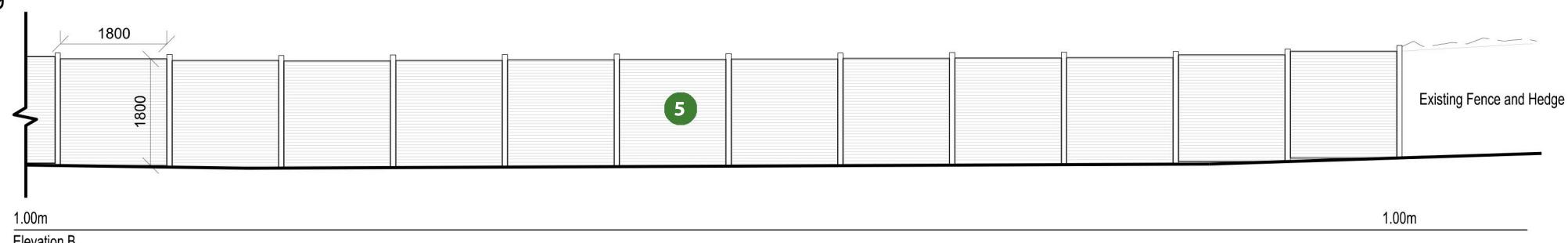
Scale  
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Drawing No.  
**002\_DR\_EL\_30**

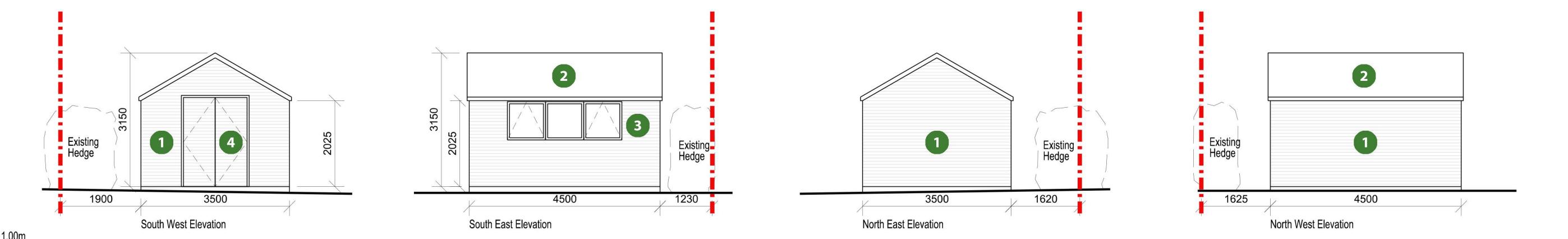
Revision  
**A**



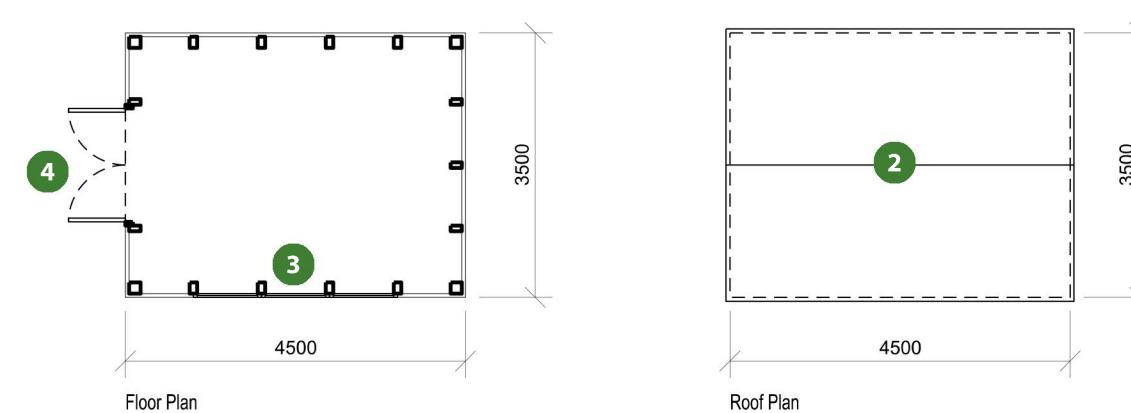
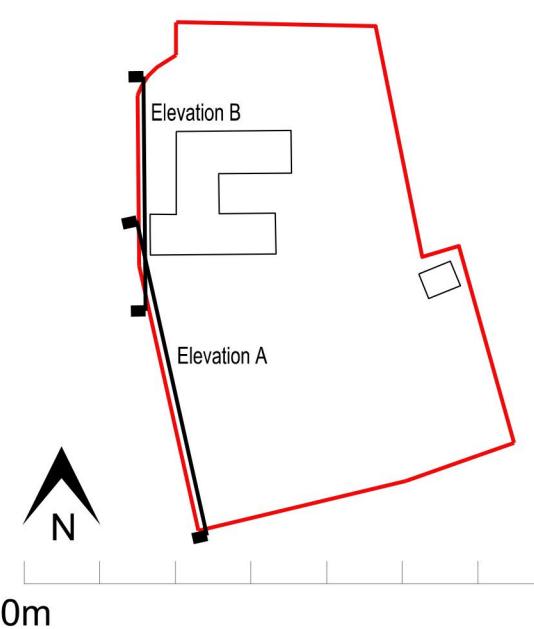
Elevations of Proposed Fencing



Elevations of Proposed Fencing



Elevations of Proposed Bike and Garden Store



Plans of Proposed Bike and Garden Store

1:100 at A3

KEY

- 1 TIMBER CLAD SHED
- 2 TIMBER SHINGLE ROOF
- 3 TOP HUNG WINDOWS
- 4 TIMBER DOORS
- 5 TIMBER FENCE

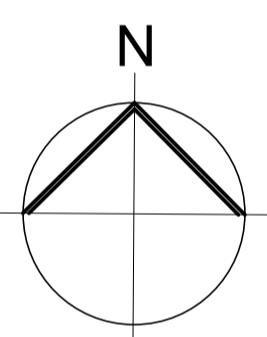
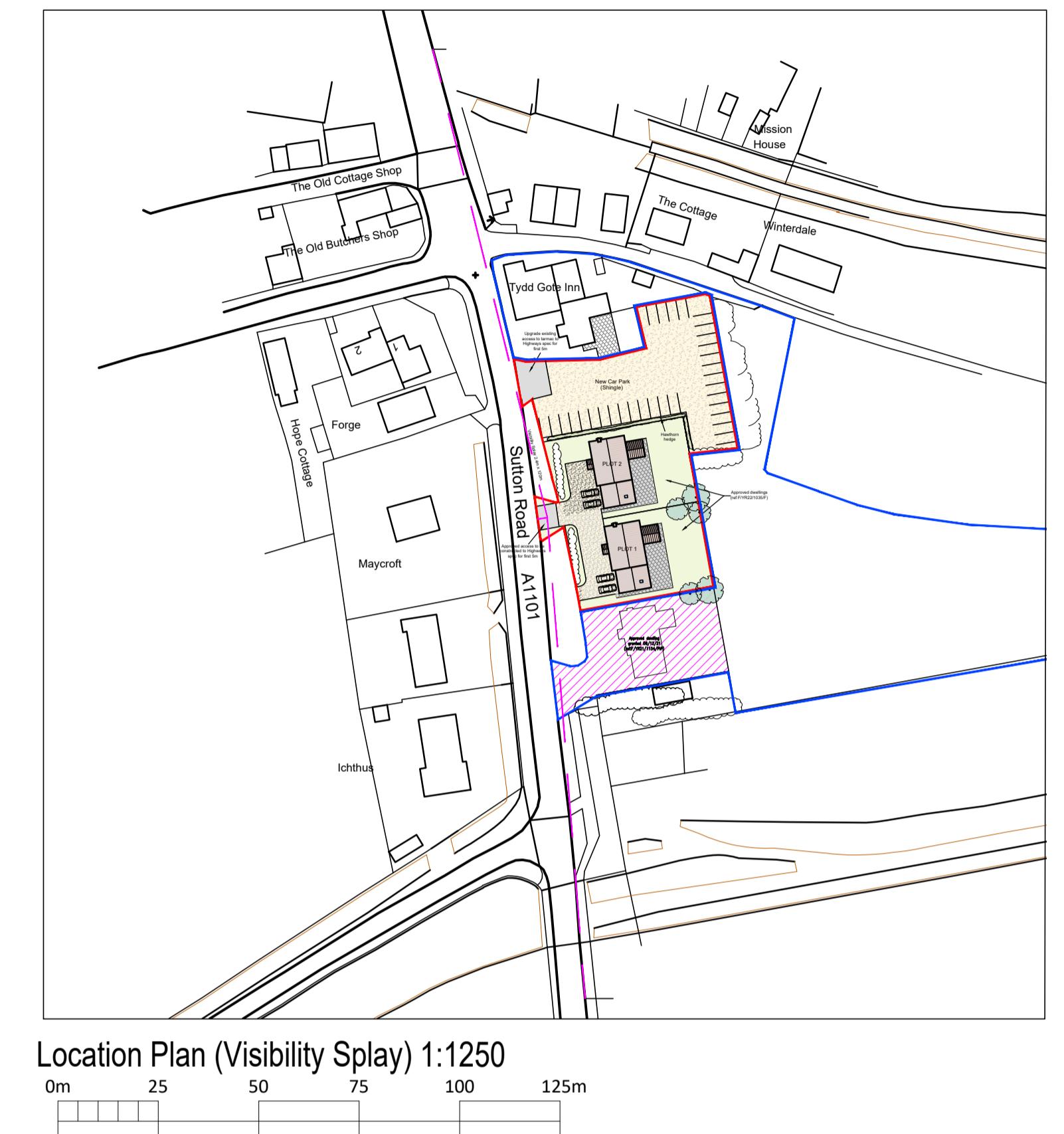
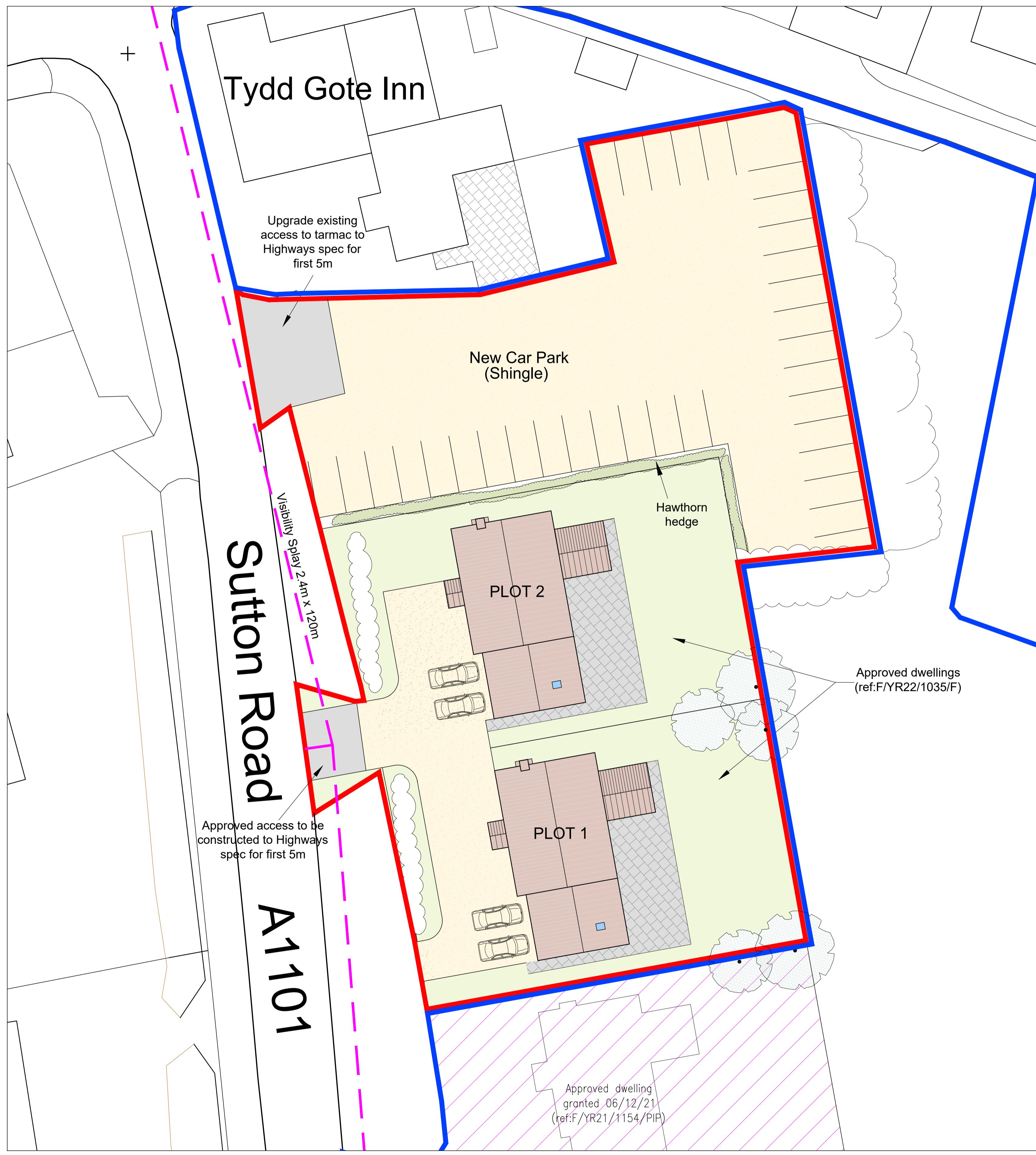
Job Title  
**Proposed Barn Conversion  
at Park Barns**  
Park Road, Tydd St Giles

Drawing Title  
**Proposed Shed and Fence**

Scale  
**1:100 @A3**  
Drawing No.  
**001\_DR\_EL\_33**

Revision  
**B**

General Notes  
 1. Drawings for planning purposes only  
 2. Do not scale - except for planning purposes  
 3. Any discrepancies are to be brought to the designer's attention



PETER HUMPHREY  
ASSOCIATES

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E-MAIL: info@peterhumphrey.co.uk  
WEB: www.peterhumphrey.co.uk

CLIENT  
JAYESH KARAVADARA

PROJECT  
PROPOSED DWELLING/PLOT X 2 AND NEW  
CAR PARK AREA

SITE  
LAND SOUTH OF TYDD GOTE INN  
SUTTON ROAD A1101  
TYDD GOTE  
WISBECH  
PE13 5QD

DRAWING  
HIGHWAYS

JOB NO: 6410/SK03-B PAPER SIZE: A1 DATE: OCT 2022

**Notes:**  
This drawing is the property of Peter Humphrey Associates Ltd. and may not be  
reissued, loaned or copied in whole or part without written consent.

All dimensions given on the drawing are in millimetres, unless stated otherwise. If  
the drawing is received electronically (PDF) it is the recipient's responsibility to  
ensure it is printed to the correct paper size. All dimensions to be checked on site  
prior to commencing work and any discrepancies to be highlighted immediately.

**The Construction (Design and Management) Regulations 2015:**  
Peter Humphrey Associates' form of appointment with the client confirms whether  
the agent is appointed as 'Designer' or 'Principal Designer' under the  
regulations. However, the designer has a duty to have regard to the need to  
ensure the safety during construction, occupation and maintenance of  
the finished project. No extraordinary hazards or risks were identified outside of  
the routine construction operations that would not already been apparent to a  
competent contractor.



## **VOC SUMMARY STATEMENT A**

Erection of first floor side extension, single-storey rear extension, installation of bay window to front, and external alterations.

Site address: Pretoria House Church Lane Tydd St Giles Wisbech Cambridgeshire PE13 5LA.

PHA ref: 7094

### **Introduction**

The application seeks to vary Condition 2 and 5 on Householder permission F/YR25/0155/F.

### **Condition 2 – Materials.**

Application F/YR25/3069/COND secured permission for materials to be used in relation to the proposed extension. However, this application is seeking to change the approved drawings and as such, this application seeks to change Condition 2 wording to reference the as-submitted drawing for materials.

### **Condition 5 – Approved documents.**

This application is seeking to change the approved drawings and as such requires condition 5 to be varied to reference the as-submitted documents.

Application seeks to omit PL02 (Rev A) for PL02 (Rev B) and PL03 for PL03 (Rev A).

### **Reason and summary of changes**

The as-submitted drawings seek to change the approved external material of development by erecting a new brickwork skin to the existing house (shown as render

under F/YR25/0155/F and F/YR25/3069/COND) with new brickwork features to change the overall appearance of the building.

The application further seeks to have horizontal black timber cladding to a small section of the front elevation and covering the rear extension – first floor of the existing house to be new brick. The reason for the cladding is to break-up the brickwork and provide a visual contrast and interest detail to the elevations and considered to fit a rural setting as common material on agricultural barns.

The proposal also includes replacing the existing roof tiles with new tiles to match the rear extension but similar to the existing tiles. New fascia boards will be needed to form the roof eaves due to the new brick skin. The existing and new extension ridge height have not changed from the approved heights, whereby, the eaves height will be lower than existing (not higher).

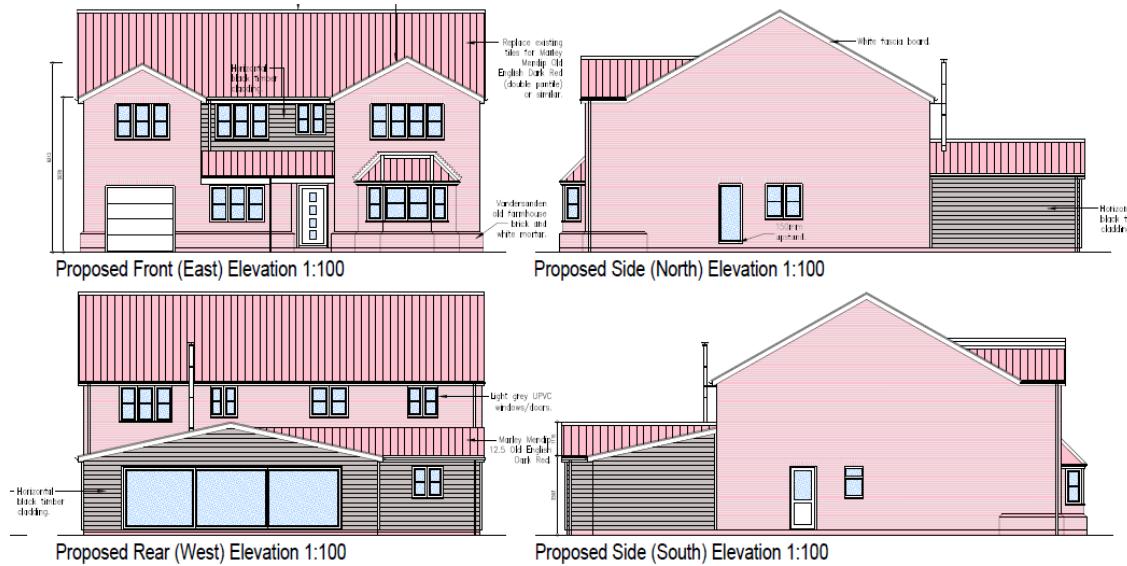
Overall, the proposed amendments are proposed to provide a new brick appearance to the front elevation with cladding to the rear elevation as not visible from the road, and remove render from the scheme.

A comparison drawing is provided on the next page to reference the changes.

Approved under: F/YR25/3069/COND:



Proposed under this application:



This form is specifically designed to be printed and completed offline.  
 Please complete this form in block capitals using black ink to facilitate scanning.  
 You are advised to read the accompanying guidance notes and per-question help text.  
 If you would rather make this application online, you can do so on our website:  
<https://www.planningportal.co.uk/apply>

## Application for tree works: works to trees subject to a tree preservation order (TPO) and/or notification of proposed works to trees in a conservation area

Town and Country Planning Act 1990

### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Planning Authority in accordance with the legislation detailed on this form.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it. Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Planning Authority in agreement with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

### Local Planning Authority details:



Fenland District Council



Fenland Hall, County Road  
March, Cambridgeshire  
PE15 8NQ

Tel: 01354 654321

Email: [planning@fenland.gov.uk](mailto:planning@fenland.gov.uk)

### Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website.

Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information.

If you require any further clarification, please contact the Local Planning Authority directly.

#### 1. Applicant Name and Address

Title:	MR.	First name:	ARNIE
Last name:	HENSBY.		
Company (optional):			
Unit:		House number:	
House name:	BEECHWOOD FARM.		
Address 1:	GRANARY HILL ROAD		
Address 2:			
Address 3:			
Town:	TYOD ST. GILES.		
County:	CAMBRIDGESHIRE.		
Country:	ENGLAND		
Postcode:	PE13 5NP		

#### 2. Agent Name and Address

Title:	MR.	First name:	NIGEL
Last name:	HARROCK.		
Company (optional):			
Unit:		House number:	2
House name:			
Address 1:	OAKLANDS COTTAGE		
Address 2:	HURDLETRIED BANK.		
Address 3:	WHOPPERD ST. CATHARINE.		
Town:	SPALDING.		
County:	LINCOLNSHIRE.		
Country:	ENGLAND		
Postcode:	PE12 6SA.		

### 3. Trees Location

If all trees stand at the address shown in Question 1, go to Question 4. Otherwise, please provide the full address/location of the site where the tree(s) stand (including full postcode where available)

Unit:  House number:  House suffix:   
House name:   
Address 1:   
Address 2:   
Address 3:   
Town:   
County:   
Postcode (if known):

If the location is unclear or there is not a full postal address, either describe as clearly as possible where it is (for example, 'Land to the rear of 12 to 18 High Street' or 'Woodland adjoining Elm Road') or provide an Ordnance Survey grid reference:

Description:

### 5. What Are You Applying For?

Are you seeking consent for works to tree(s) subject to a TPO?  Yes  No

Are you wishing to carry out works to tree(s) in a conservation area?  Yes  No

### 4. Trees Ownership

Is the applicant the owner of the tree(s):  Yes  No  
If 'No' please provide the address of the owner (if known and if different from the trees location)

Title:  First name:   
Last name:   
Company (optional):   
Unit:  House number:  House suffix:   
House name:   
Address 1:   
Address 2:   
Address 3:   
Town:   
County:   
Country:   
Postcode:

#### Telephone numbers

Country code:  National number:  Extension number:   
Country code:  Mobile number (optional):   
Country code:  Fax number (optional):   
Email address (optional):

### 6. Tree Preservation Order Details

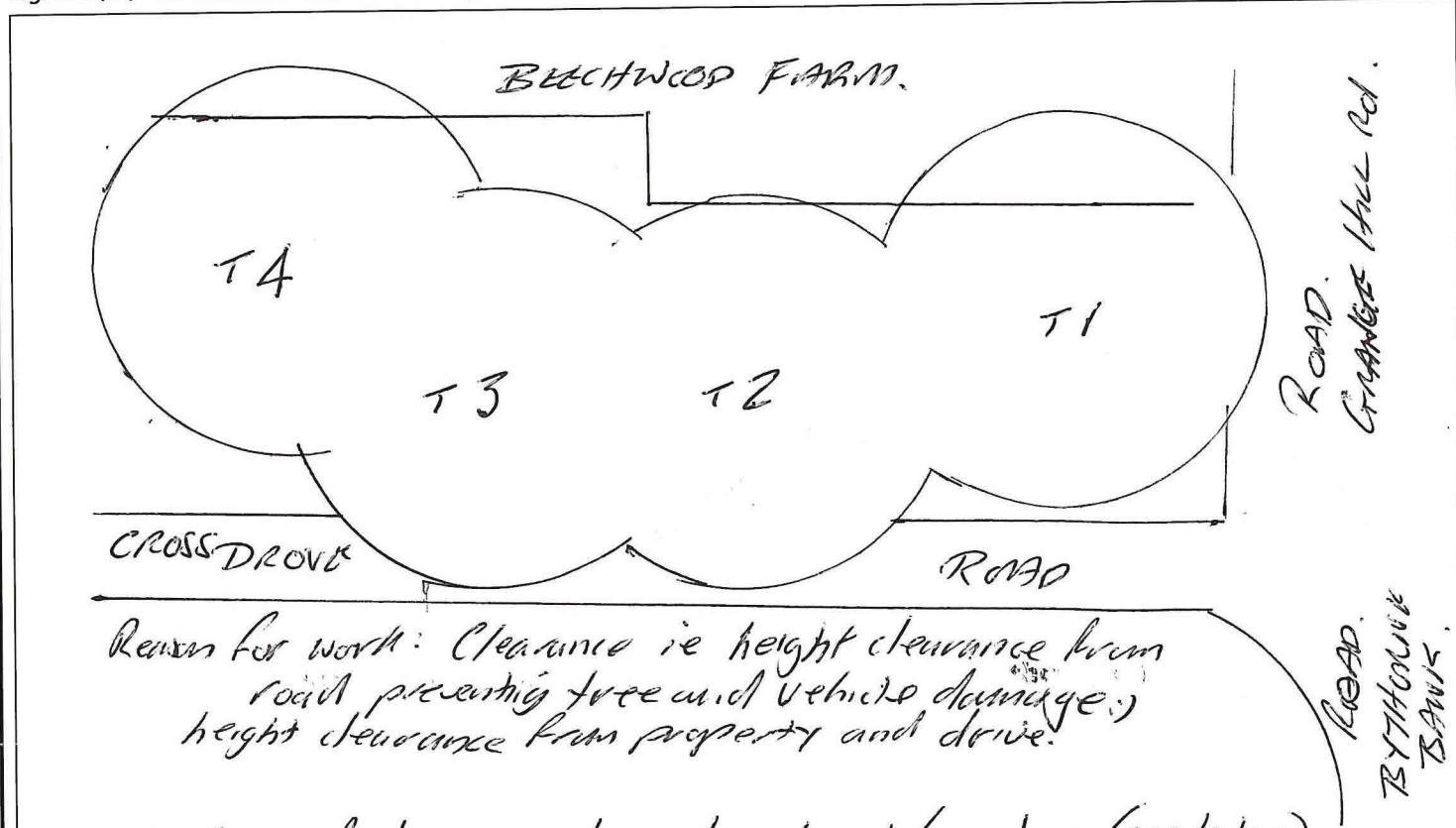
If you know which TPO protects the tree(s), enter its title or number below.

## 7. Identification Of Tree(s) And Description Of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out. Continue on a separate sheet if necessary. You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work. Where trees are protected by a TPO, please number them as shown in the First Schedule to the TPO where this is available. Use the same numbers on your sketch plan (see guidance notes).

Please provide the following information below : tree species (and the number used on the sketch plan) and description of works. Where trees are protected by a TPO you must also provide reasons for the work and, where trees are being felled, please give your proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

E.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with 1 standard ash in the same place.



Reasons for work: Clearance ie height clearance from road preventing tree and vehicle damage, height clearance from property and drive.

BEECH T1 : Reduce secondary branches 1/2 metres (one to two) from over road, Reduce secondary branches over road leaving a road clearance of approx 3.5 metres

BEECH T2 . Reduce back secondary branches over road to create a 3.5/4 metre clearance in height, this would reduce risk of breakages via large sided vehicles.

BEECH T3 Reduce back lower branches for height clearance above road. As above 3.5/4 metres to prevent vehicle damage.

BEECH T4 . As with T1 Reduction of Secondary branches over and away from road reducing impact of drip line. Each Secondary branch being reduced by 1/2 metres over road. Crown lift secondary branches over drive to produce a 3.5/4 metre clearance. 1/2t over Road to provide a 3.5/4metre clearance.

## 8. Trees - Additional Information

### For all trees

A sketch plan clearly showing the position of trees listed in Question 7 must be provided when applying for works to trees covered by a TPO. A sketch plan is also advised when notifying the LPA of works to trees in a conservation area (see guidance notes). It would also be helpful if you provided details of any advice given on site by an LPA officer.

### For works to trees covered by a TPO

Please indicate whether the reasons for carrying out the proposed works include any of the following. If so, your application must be accompanied by the necessary evidence to support your proposals. (See guidance notes for further details)

#### 1. Condition of the tree(s) - e.g. it is diseased or you have fears that it might break or fall:

Yes  No

If YES, you are required to provide written arboricultural advice or other diagnostic information from an appropriate expert.

#### 2. Alleged damage to property - e.g. subsidence or damage to drains or drives.

Yes  No

If YES, you are required to provide for:

##### Subsidence

A report by an engineer or surveyor, to include a description of damage, vegetation, monitoring data, soil, roots and repair proposals. Also a report from an arboriculturist to support the tree work proposals.

##### Other structural damage (e.g. drains, walls and hard surfaces)

Written technical evidence from an appropriate expert, including description of damage and possible solutions.

### Documents and plans (for any tree)

Are you providing separate information (e.g. an additional schedule of work for Question 7)?

Yes  No

If YES, please provide the reference numbers of plans, documents, professional reports, photographs etc in support of your application. If they are being provided separately from this form, please detail how they are being submitted.

## 9. Authority Employee / Member

It is an important principle of decision-making that the process is open and transparent. For the purposes of this question, "relating to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the local planning authority.

Do any of the following statements apply to you and/or agent?  Yes  No With respect to the authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

If Yes, please provide details of their name, role and how you are related to them.

## 10. Application For Tree Works - Checklist

Only one copy of the application form and additional information (Question 8) is required. Please use the guidance and this checklist to make sure that this form has been completed correctly and that all relevant information is submitted. Please note that failure to supply precise and detailed information may result in your application being rejected or delayed. You do not need to fill out this section, but it may help you to submit a valid form.

### Sketch Plan

- A sketch plan showing the location of all trees (see Question 8)

### For all trees (see Question 7)

- Clear identification of the trees concerned
- A full and clear specification of the works to be carried out

### For works to trees protected by a TPO (see Question 7)

Have you:

- stated reasons for the proposed works?
- provided evidence in support of the stated reasons? in particular:
  - if your reasons relate to the condition of the tree(s) - written evidence from an appropriate expert
  - if you are alleging subsidence damage - a report by an appropriate engineer or surveyor and one from an arboriculturist.
  - in respect of other structural damage - written technical evidence
- included all other information listed in Question 8?

## 11. Declaration - Trees

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

26/11/2025.

(This date must not be before the date of sending or hand-delivery of the form)

## 12. Applicant Contact Details

### Telephone numbers

Country code: National number:

Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

## 13. Agent Contact Details

### Telephone numbers

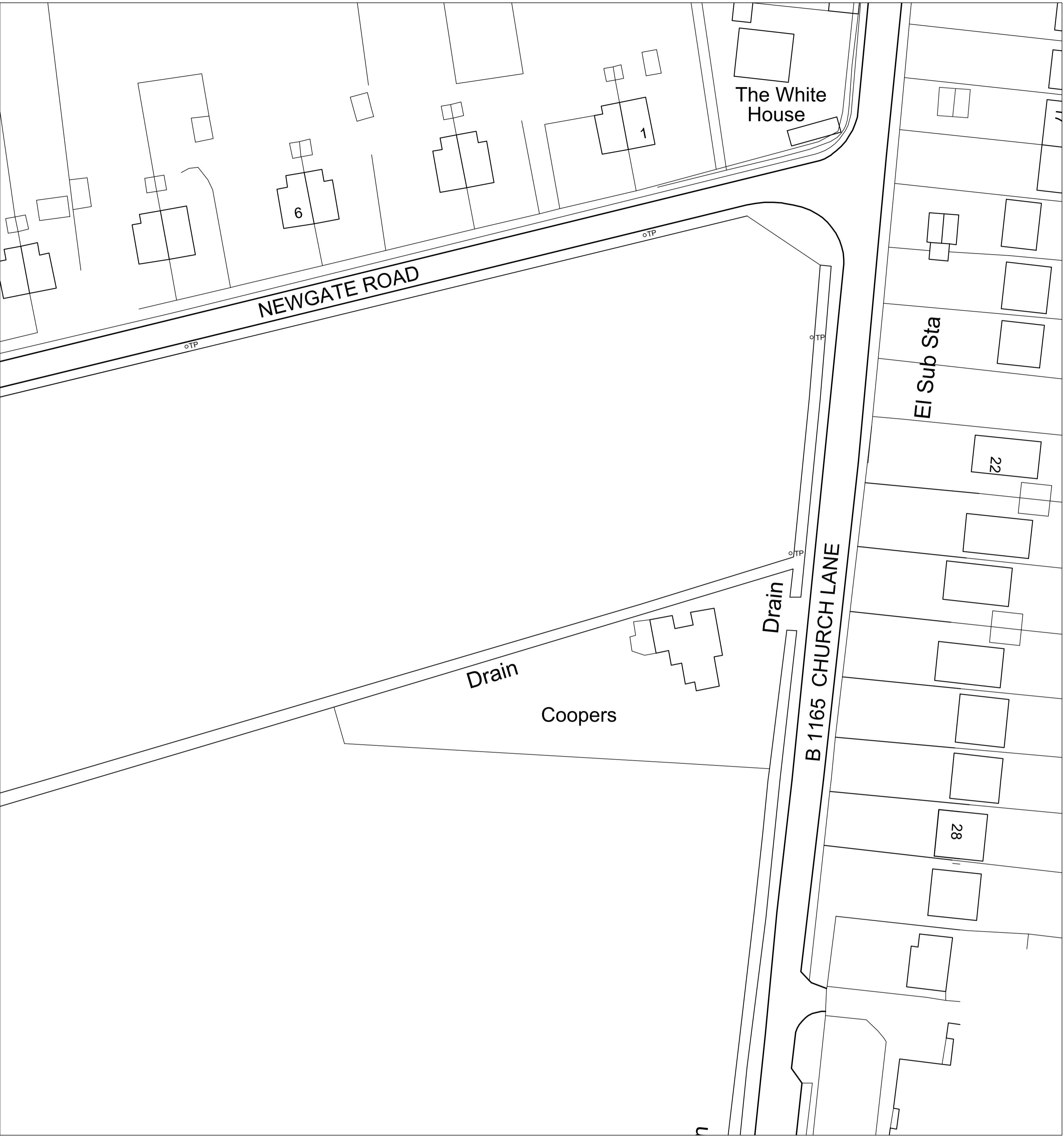
Country code: National number:

Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):



Existing Site Plan 1:500



Location Plan 1:2500



Indicative Site Plan 1:500