TYDD ST GILES PARISH COUNCIL

Parrock View, 358 High Road, Newton-in-the-Isle, PE13 5HS

Tel 01945 870083 ~ Mobile 07932 191050 ~ Email clerk@tyddstgilesparishcouncil.org.uk Clerk D Gibbs

1st March 2025

To Members of the Public and Press

You are invited to attend a meeting of the Planning Committee of Tydd St Giles Parish Council, which will be held in the Community Centre on **Thursday 6th March 2025 at 7.30pm**, for the purpose of transacting the following business.

Members of the public and press are invited to attend this meeting.

Yours sincerely

D Gibbs

Clerk/Proper Officer

AGENDA

All members are reminded that they need to declare any personal or prejudicial interest and reason before an item discussed at this meeting, under the Model Code of Conduct Order 2001 No 3576.

006/24 Apologies for Absence

To receive and consider apologies for absence on behalf of those members not present.

007/24 Planning Applications

To consider the following planning applications and agree the Council's response:

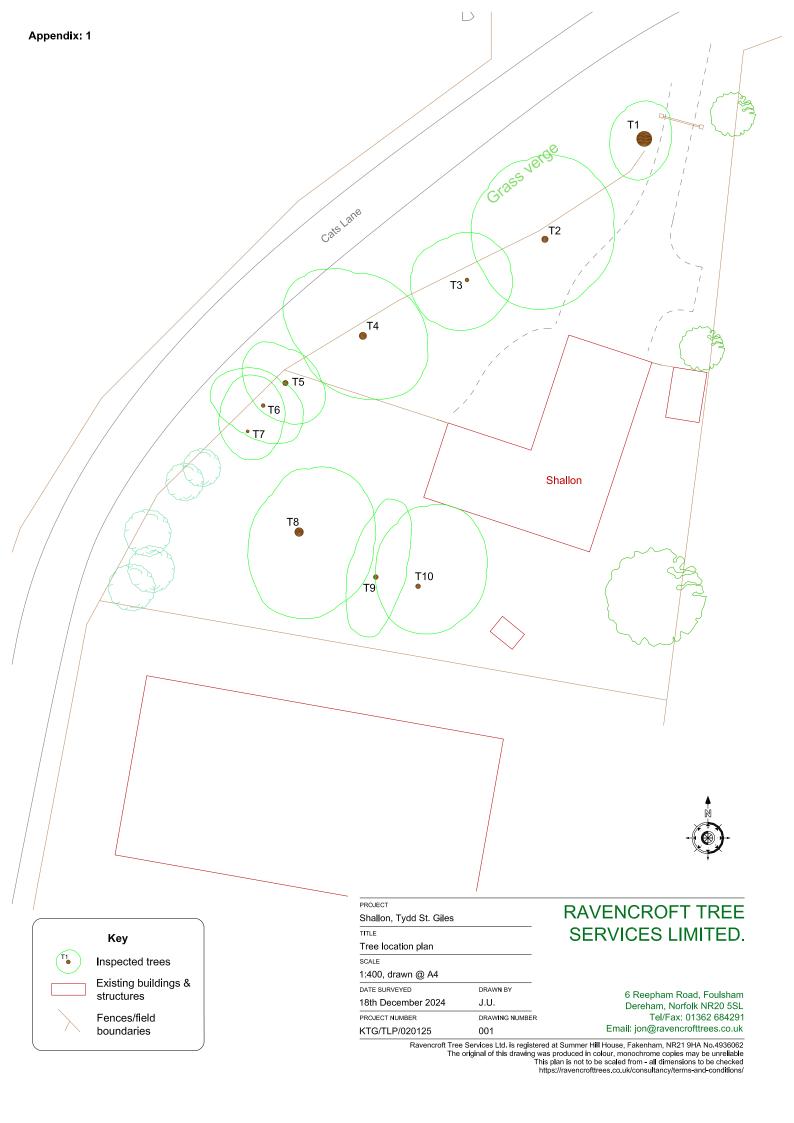
- a) F/YR25/0117/TRTPO Felling of Ino Cherry Tree and works to 3no Cherry trees, Ino Sycamore tree, 2no Beech trees and Ino White Poplar tree covered by TPO/01/1992 Shallon, Cats Lane, Tydd St Giles
- b) F/YR25/0137/RM Reserved Matters application relating to detailed matters of access, appearance, landscaping, layout and scale pursuant to outline permission F/YR24/0291/O to erect 4 x dwellings Land North of Tydd Steam Brewery, Kirkgate, Tydd St Giles
- c) F/YR25/0155/F Erection of part first storey, part 2-storey side extension, single-storey rear extension, installation of bay window to front, and external alterations including rendering of dwelling with brick plinth Pretoria House, Church Lane, Tydd St Giles

008/24 Update on Recent Planning Applications

To receive an update on applications considered at previous meetings.

009/24 Other Planning Matters

To consider any other matters within the remit of the Planning Committee.



and Description of Works')?
✓ Yes◯ No
If Yes, please provide the reference numbers of plans, documents, professional reports, photographs etc in support of your application
Detailed tree inspection report by Ravencroft Tree Services Ltd

Identification of Tree(s) and Description of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out

T2 sycamore "Reduce height by no more than 2m & upper laterals by no more than 1 - 1.5m to maintain good shape & form. Remove dead wood to unions with live wood, leaving branch collars intact "

T4 beech "Crown raise smaller low branches to give 2m clearance from ground level. Reduce height by no more than 2m & lateral branches by no more than 1m"

T5 beech "Reduce height by no more than 2m"

T6 & T7 cherry "Reduce height of T6 by 2m & T7 by 1.5m"

T8 white poplar "Reduce extended limb south / east by no more than 2m and remove dead wood of 30mm dia. & greater from crown"

T9 cherry "Remove dead wood & reduce height by 2m"

T10 cherry "Remove tree to ground level and plant a heavy standard replacement in a more open space"

You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work.

Where trees are protected by a Tree Preservation Order, please number them as shown in the First Schedule to the Tree Preservation Order where this is available. You should use the same numbering on your sketch plan (see below for sketch plan requirements).

Please provide the following information:

- · Tree species
- The number used on the sketch plan; and
- A description of the proposed works.

Where trees are protected by a Tree Preservation Order you must also provide:

- · Reasons for the work; and where trees are being felled
- · Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - Whole crown reduction to 12m above ground level, to provide sufficient clearance to property.

Sketch plan requirements

Your plan needs to show the precise location of the tree(s) in relation to nearby property/roads/boundaries. It should, therefore:

- indicate the main features of the site where the tree(s) stand and its surroundings; in particular, you should:
 - o mark and name surrounding roads
 - o sketch in buildings, including adjoining properties
 - o add house numbers or names
- mark the position of the tree(s) to which you want to carry out work and identify them by the number shown in the Tree Preservation Order where possible; if you use a different number, please make sure that this can be matched with your description of the tree(s)
- if there are many trees on the site, make clear which tree(s) are included in this application by:
 - o marking all trees on the plan, but only numbering those to which you want to carry out work
 - showing the approximate distance between the application tree(s) and buildings
 - o adding other relevant features on the site (e.g. greenhouse, paths)

If it is impossible to identify the tree(s) accurately on the plan (e.g. because they are part of a woodland or group of trees), please identify their approximate location on the plan and provide details of how the tree(s) are marked on site (e.g. high visibility tape, tree tags, paint, etc); trees must not be marked by scarring or cutting into the bark.



TREES:
All trees (as marked on plan (T_)) should be 08-10cm girth Standard' trees either rootballed or container grown and should be single staked with 75mm minimum diameter stake free from bark with one end pointed.

Tree Pits to be 600x600xdepth of rootball or container (or 150mm wider than the round rootball whichever is greater) do not plant deeper than the soil mark on the stem. Break up pit base to avoid compaction. Drive 1 stake upright/vertical into bottom of excavated planting pit before planting. Saturate root ball of container grown and rootballed plants before planting. Backfill with excavated material incorporating compost at 1m³ per

Use Super Soft Tree Ties (J Toms 01233 770066) to fix tree to stake no spacer required. Water thoroughly immediately after planting and at intervals as necessary until trees are established. Apply 75mm bark mulch to planting surface. Fit spiral tree guard to tree base.

T1 Standard Silver Birch (Betula pendula) T2 Rowen (Sorbus aucuparia) T3 Bird Cherry (Prunus padus)

Shrub planing in locations shown on proposed site plan (S). C3 Pot Size, planting size 40-60cm, planted at 750mm crs. The shrubs proposed will be chosen from the following list:

Dog Rose
 Juniper
 Buckthorn
 Dogwood

3m³ of soil excavated.

MANAGEMENT/MAINTENANCE

GENERAL

Contractor to attend site as necessary (at least 12 times) for the first 12 months following completion to ensure successful establishment. Plants supplied and planted by the Contractor which fail to thrive within a period of 12 months shall be replaced at contractors expense with the same species to match the size of adjacent plants of the same species at the next suitable planting season, unless otherwise agreed.

After the 12-month contractor managed period, maintenance of landscaping on each plot will be taken by the respective occupier, including their frontages.

Undertake soft landscape works generally in open weather conditions, typically mild, dull and moist. Do not undertake planting seeding or turfing when the temperature is below 4°C and falling, when the ground is covered in snow, in frozen or waterlogged ground or in drought conditions.

Planting should be undertaken between November and March when the plants are dormant and planted at centres shown above. Plants should be set at the same root depth as they were at the nursery and should be well firmed in and guards fitted. Remove any damaged shoots during planting. A 75mm layer of bark mulch should be applied over the planting bed to reduce weed competition.

Damaged shoots and/or branches to be pruned back to healthy wood in accordance with good horticultural practice. All plant debris, clippings, litter and general plant detritus to be removed from site at contractor's expense.

Planted areas to be watered as necessary (to field capacity) to ensure good establishment. Tree to be watered regularly in response to weather conditions (minimum 25 its at each watering).

All planting areas to be kept free of weeds by hand weeding/hoeing unless otherwise agreed. Top up mulches as necessary with similar

All tree ties to be checked periodically and adjusted as necessary. Replace damaged ties. Replace broken stakes with new. Top Up mulches as necessary with similar

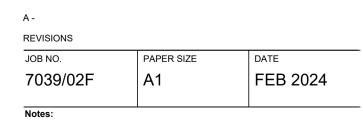
Newly turfed and seeded areas to be lightly rolled once they reach 50mm sward height. Then cut to 40mm and remove all clippings. Make good any bare patches at this time. Grass areas to be regularly trimmed to maintain a 40mm sward.

PLAN KEY:

 Integrated Bat Boxes Integrated Bird Boxes

Hedgehog Holes

downwards with PIR Sensor)



This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:

Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.

MR J ENGLAND J ENGLAND CONSTRUCTION LTD

PROJECT

PROPOSED BUILDING PLOTS

LAND NORTH OF TYDD STEAM KIRKGATE TYDD ST GILES CAMBS PE13 5NE

DRAWING PROPOSED SITE PLAN



ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.

TELEPHONE: 01945 466966 E-MAIL: info@peterhumphrey.co.uk WEB: www.peterhumphrey.co.uk



Proposed Ground Floor Plan 1:50

12046

Plot 1 = Handed Plot 2 = As shown

Proposed First Floor Plan 1:50 Plot 1 = Handed Plot 2 = As shown

Plot 1 = Handed Plot 2 = As shown

7039/04J AUG 2024

4175

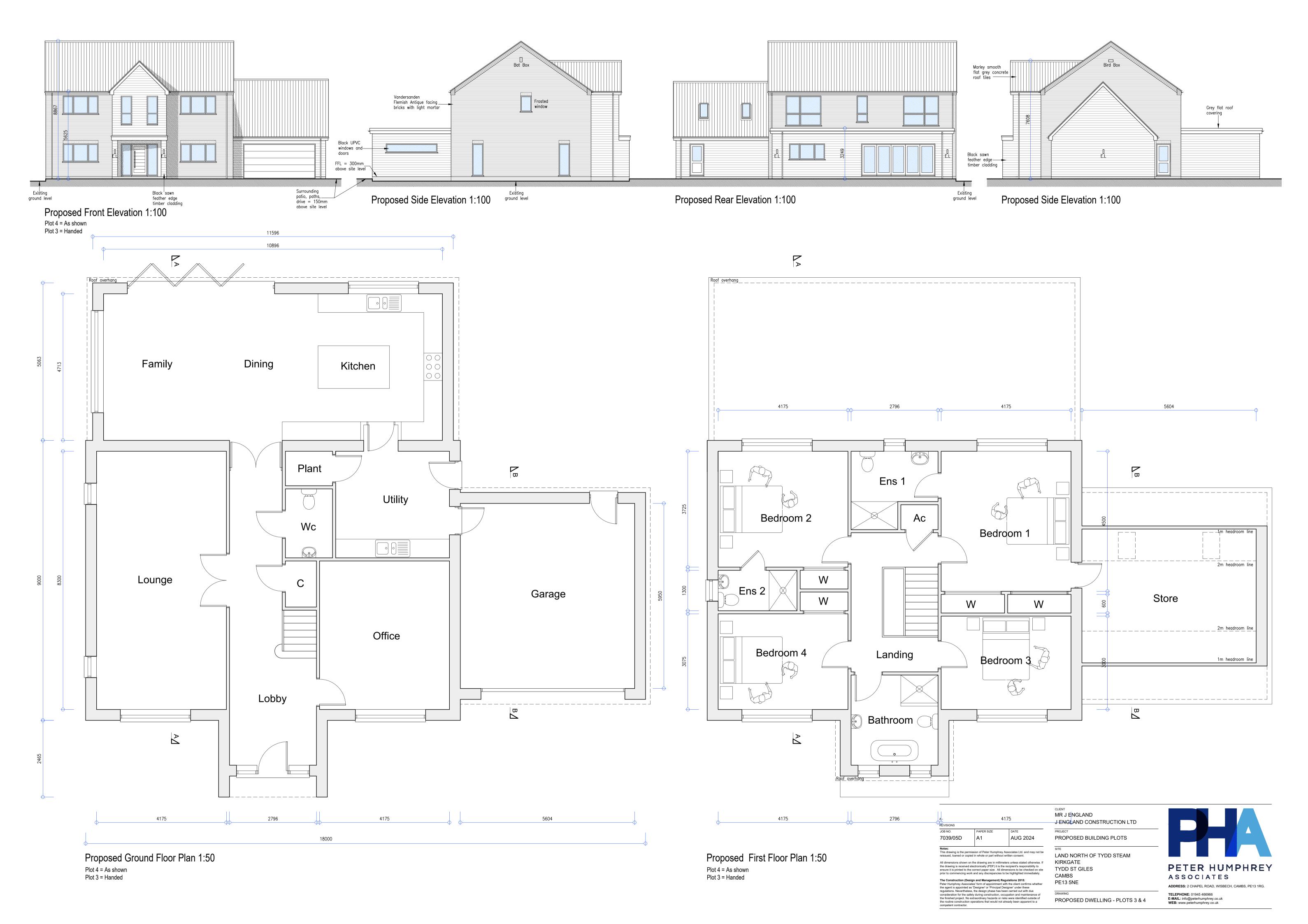
This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent. All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately. The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.

CLIENT MR J ENGLAND J ENGLAND CONSTRUCTION LTD PROPOSED BUILDING PLOTS LAND NORTH OF TYDD STEAM TYDD ST GILES

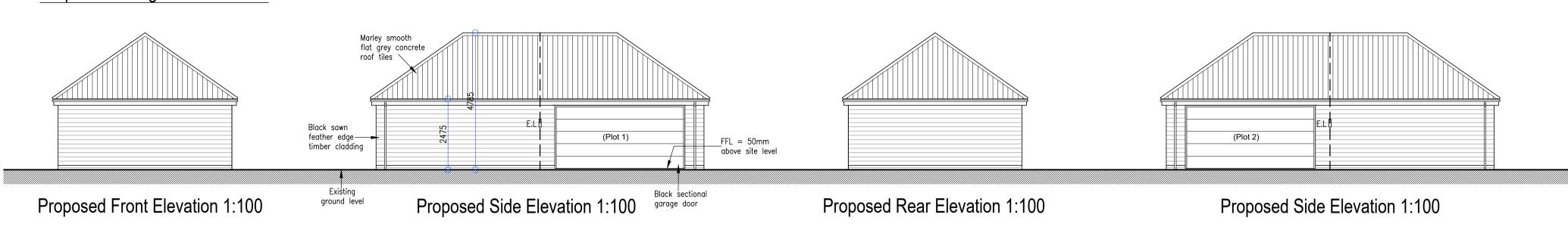
PETER HUMPHREY ASSOCIATES ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG. TELEPHONE: 01945 466966 E-MAIL: info@peterhumphrey.co.uk WEB: www.peterhumphrey.co.uk PROPOSED DWELLING - PLOTS 1 & 2

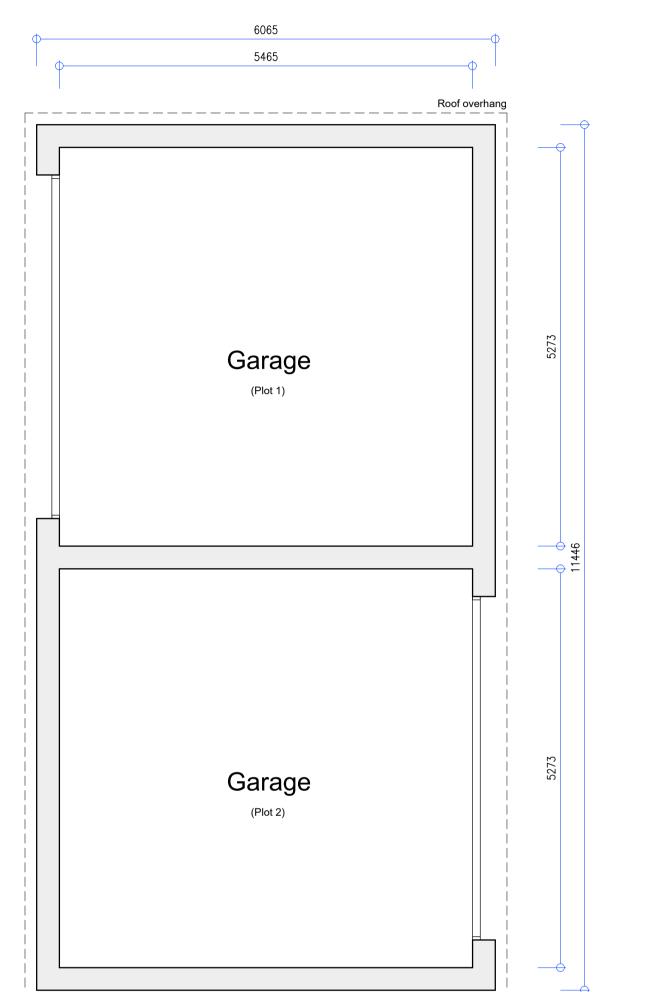
Proposed Roof Plan 1:200

[-----

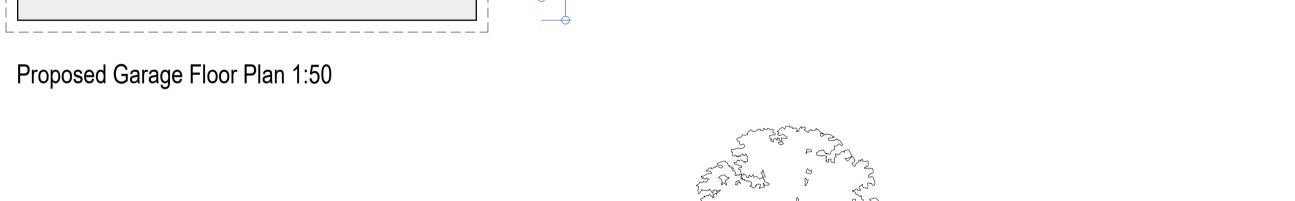


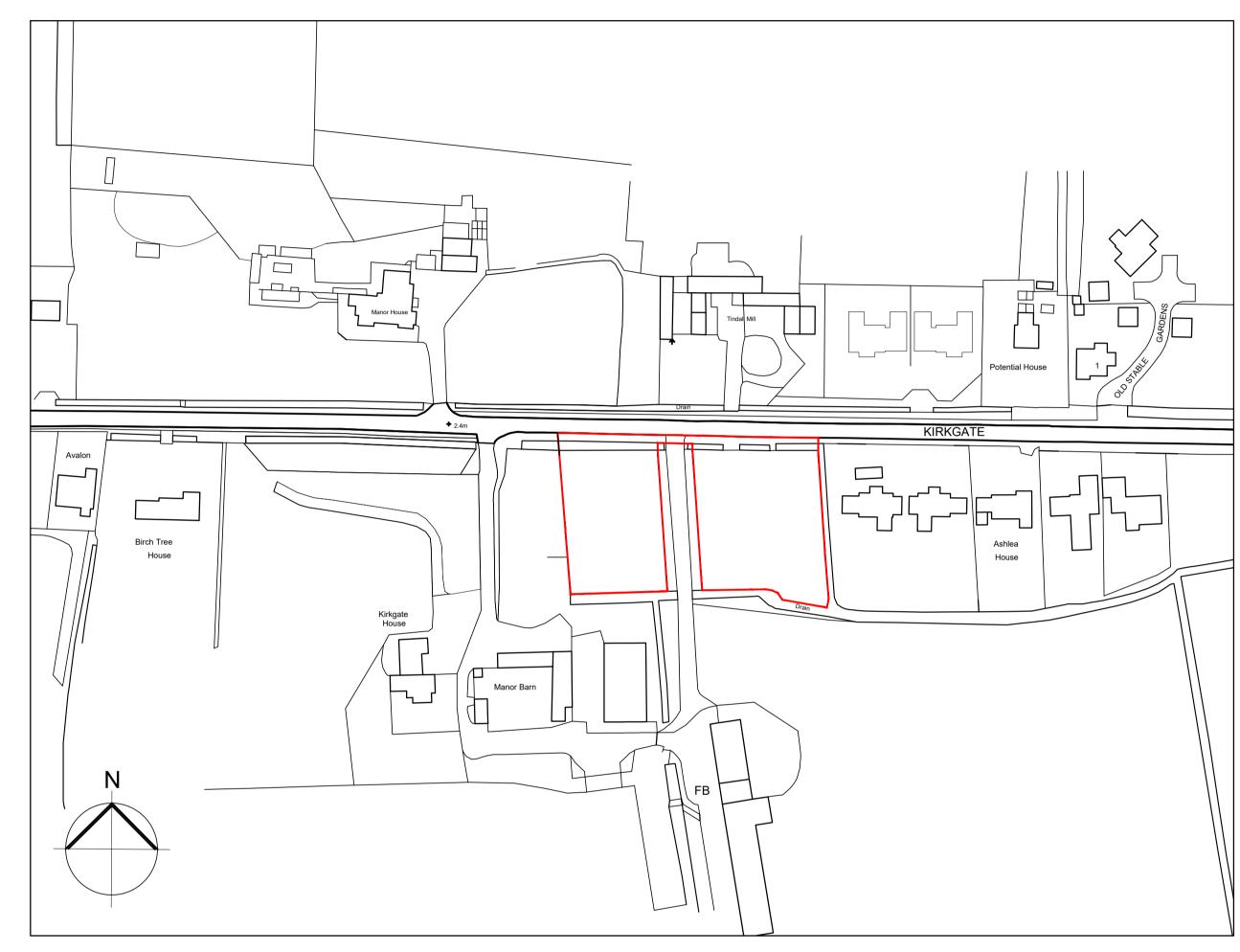
Proposed Garage For Plot 1 & 2





Proposed Roof Plan 1:200

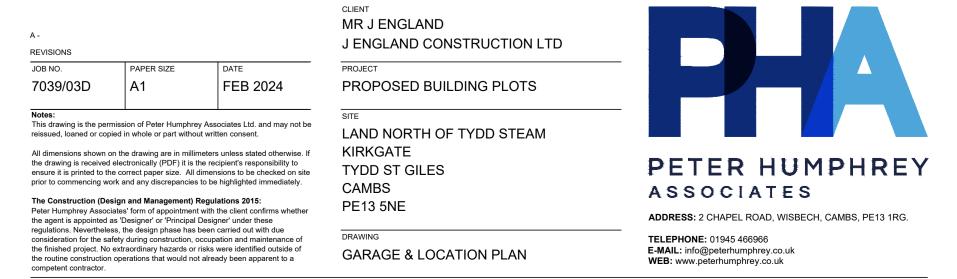


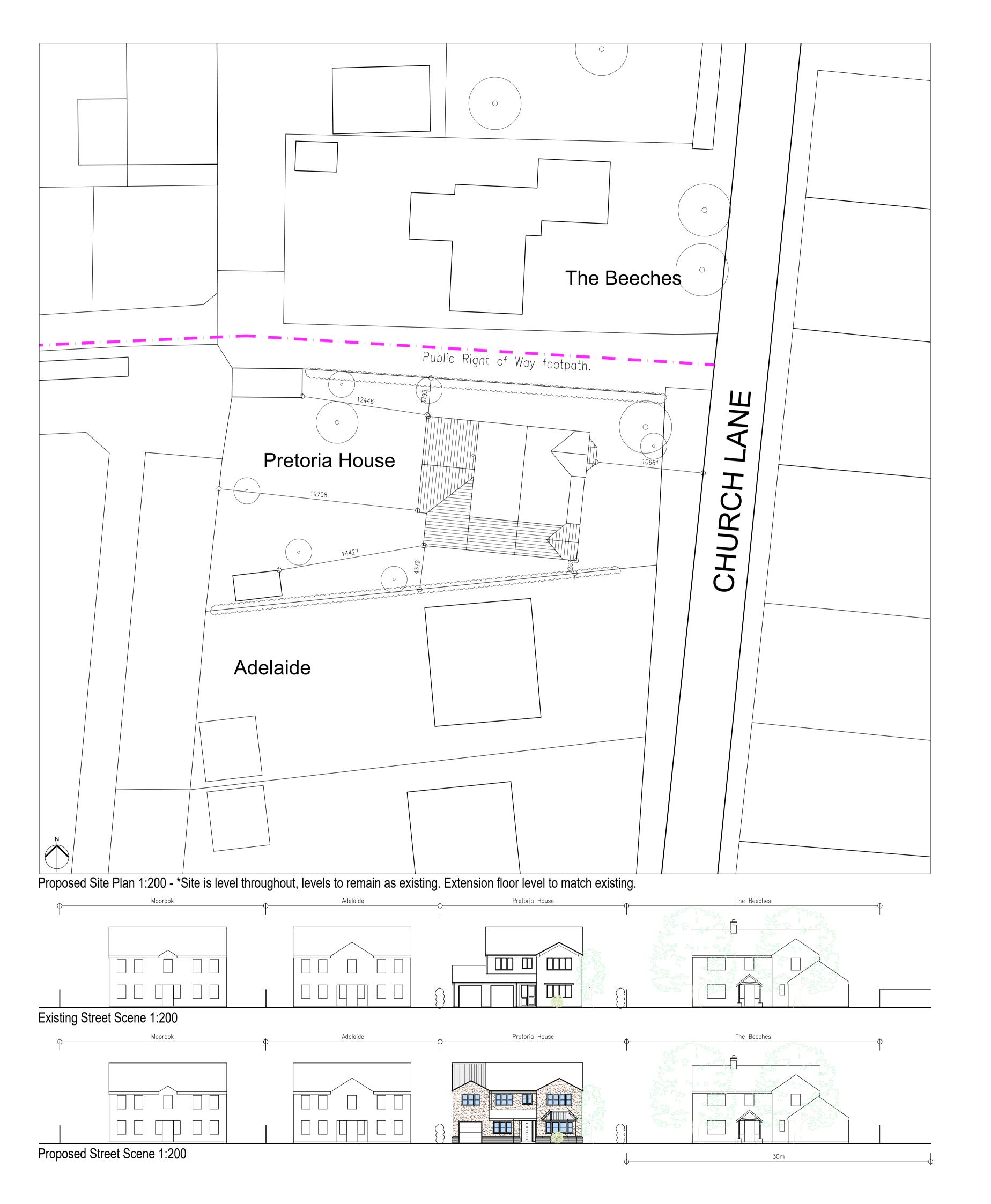


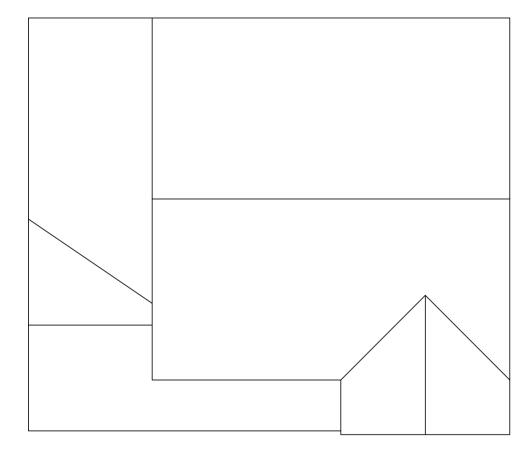
Location Plan 1:1250

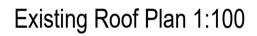


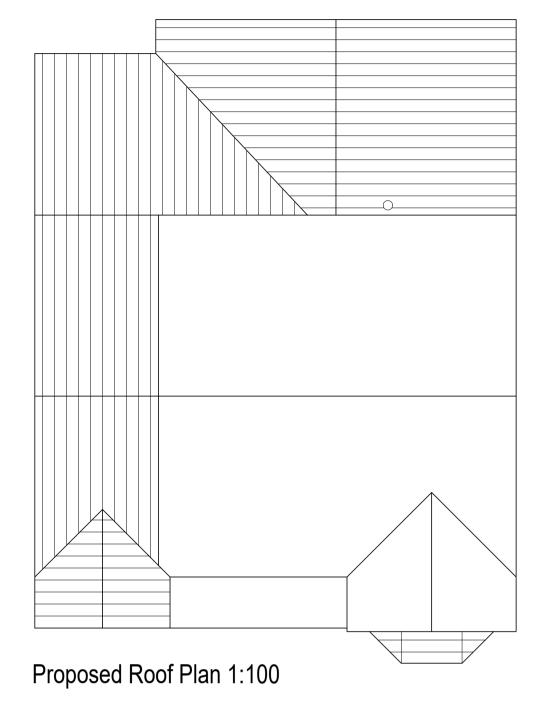
Proposed Street Scene 1:200











A -REVISIONS



PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.

TELEPHONE: 01945 466966
E-MAIL: info@peterhumphrey.co.uk
WEB: www.peterhumphrey.co.uk

MR W WITHERS

PROJECT

EXTENSION TO DWELLING

PRETORIA HOUSE CHURCH LANE TYDD ST GILES CAMBS

PE13 5LA

PROPOSED COMBINATION 2

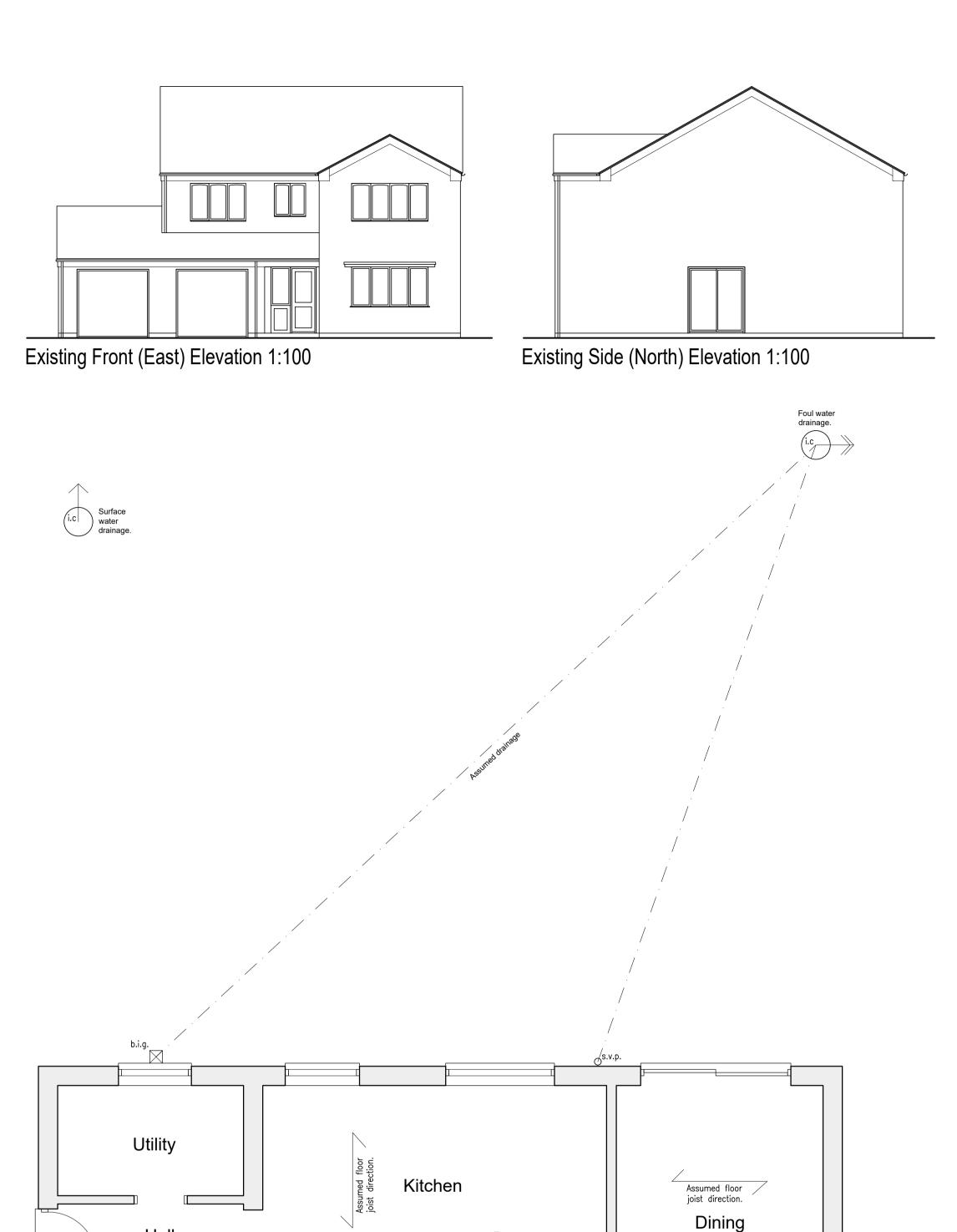
 JOB NO.
 PAPER SIZE
 DATE

 7094/PL03
 A1
 JAN 2025

This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.



Hall

Porch

Assumed floor

joist direction.

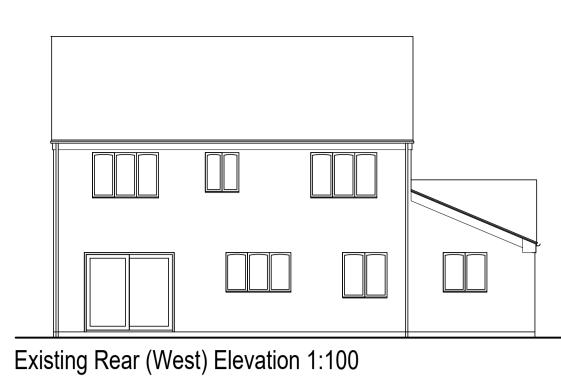
Lounge

Hall

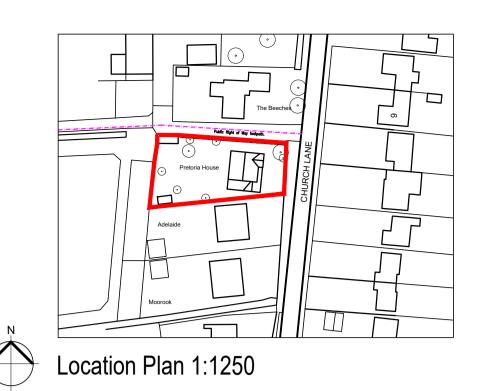
Existing Ground Floor Plan 1:50

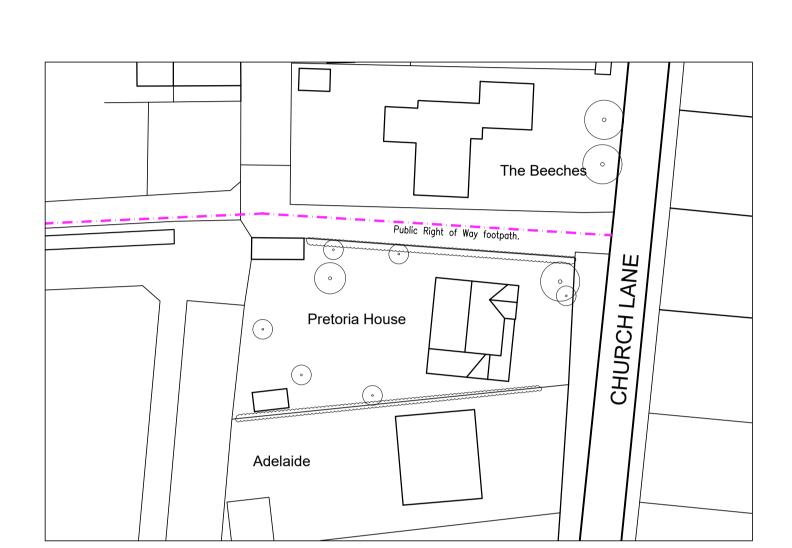
Pantry

Garage









Existing Site Plan 1:500



Existing First Floor Plan 1:50



ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.

TELEPHONE: 01945 466966 E-MAIL: info@peterhumphrey.co.uk
WEB: www.peterhumphrey.co.uk

MR W WITHERS

REVISIONS

EXTENSION TO DWELLING

PRETORIA HOUSE CHURCH LANE TYDD ST GILES CAMBS PE13 5LA

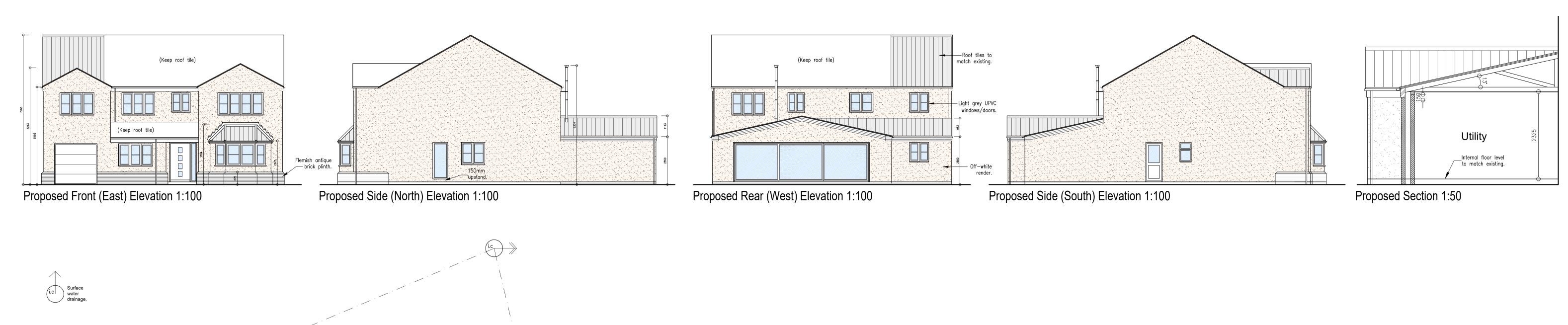
EXISTING COMBINATION DRAWING

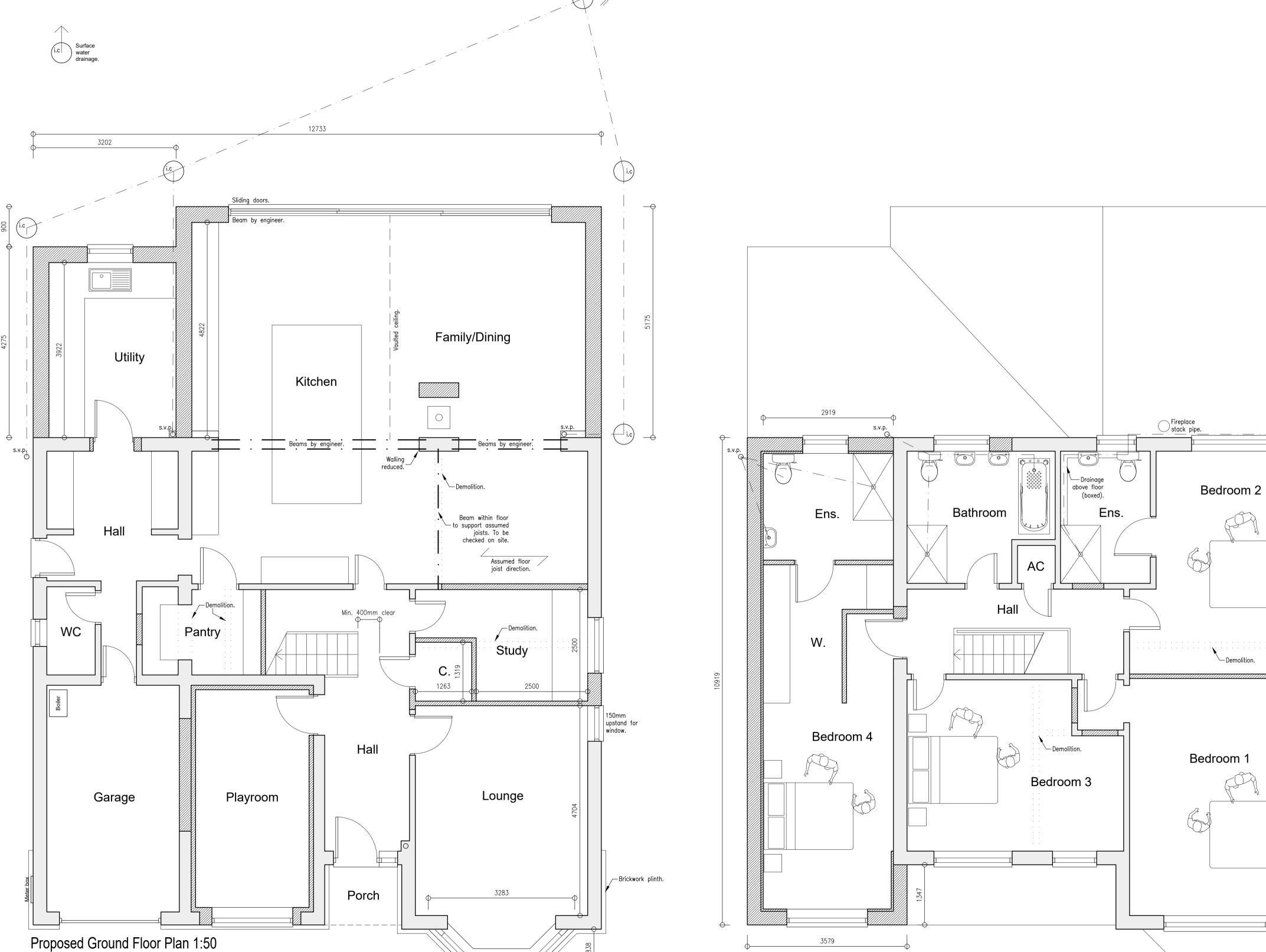
JAN 2025 7094/PL01A

This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

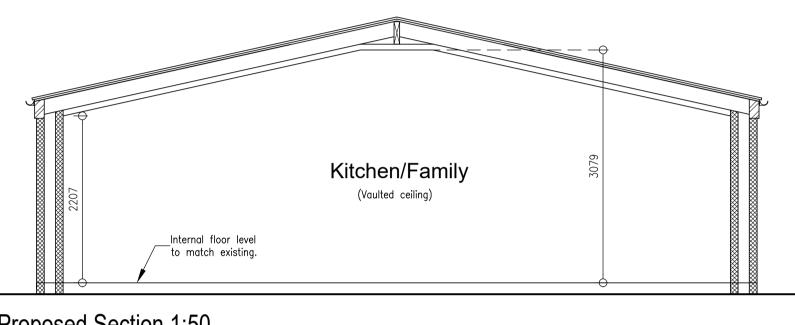
All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.





Proposed First Floor Plan 1:50



Proposed Section 1:50



PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.

TELEPHONE: 01945 466966 **E-MAIL:** info@peterhumphrey.co.uk **WEB:** www.peterhumphrey.co.uk

MR W WITHERS

EXTENSION TO DWELLING

PRETORIA HOUSE CHURCH LANE TYDD ST GILES

CAMBS PE13 5LA

PROPOSED COMBINATION 1

JAN 2025 7094/PL02A

This drawing is the permission of Peter Humphrey Associates Ltd. and may not be

reissued, loaned or copied in whole or part without written consent. All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to

ensure it is printed to the correct paper size. All dimensions to be checked on site

prior to commencing work and any discrepancies to be highlighted immediately. The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether
the agent is appointed as 'Designer' or 'Principal Designer' under these

regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.