

TYDD ST GILES PARISH COUNCIL

Parrock View, 358 High Road, Newton-in-the-Isle, PE13 5HS

Tel 01945 870083 ~ Mobile 07932 191050 ~ Email clerk@tyddstgilesparishcouncil.org.uk

Clerk D Gibbs

1st March 2025

To Members of the Public and Press

You are invited to attend a meeting of the Planning Committee of Tydd St Giles Parish Council, which will be held in the Community Centre on **Thursday 6th March 2025 at 7.30pm**, for the purpose of transacting the following business.

Members of the public and press are invited to attend this meeting.

Yours sincerely

D Gibbs

Clerk/Proper Officer

A G E N D A

All members are reminded that they need to declare any personal or prejudicial interest and reason before an item discussed at this meeting, under the Model Code of Conduct Order 2001 No 3576.

006/24 Apologies for Absence

To receive and consider apologies for absence on behalf of those members not present.

007/24 Planning Applications

To consider the following planning applications and agree the Council's response:

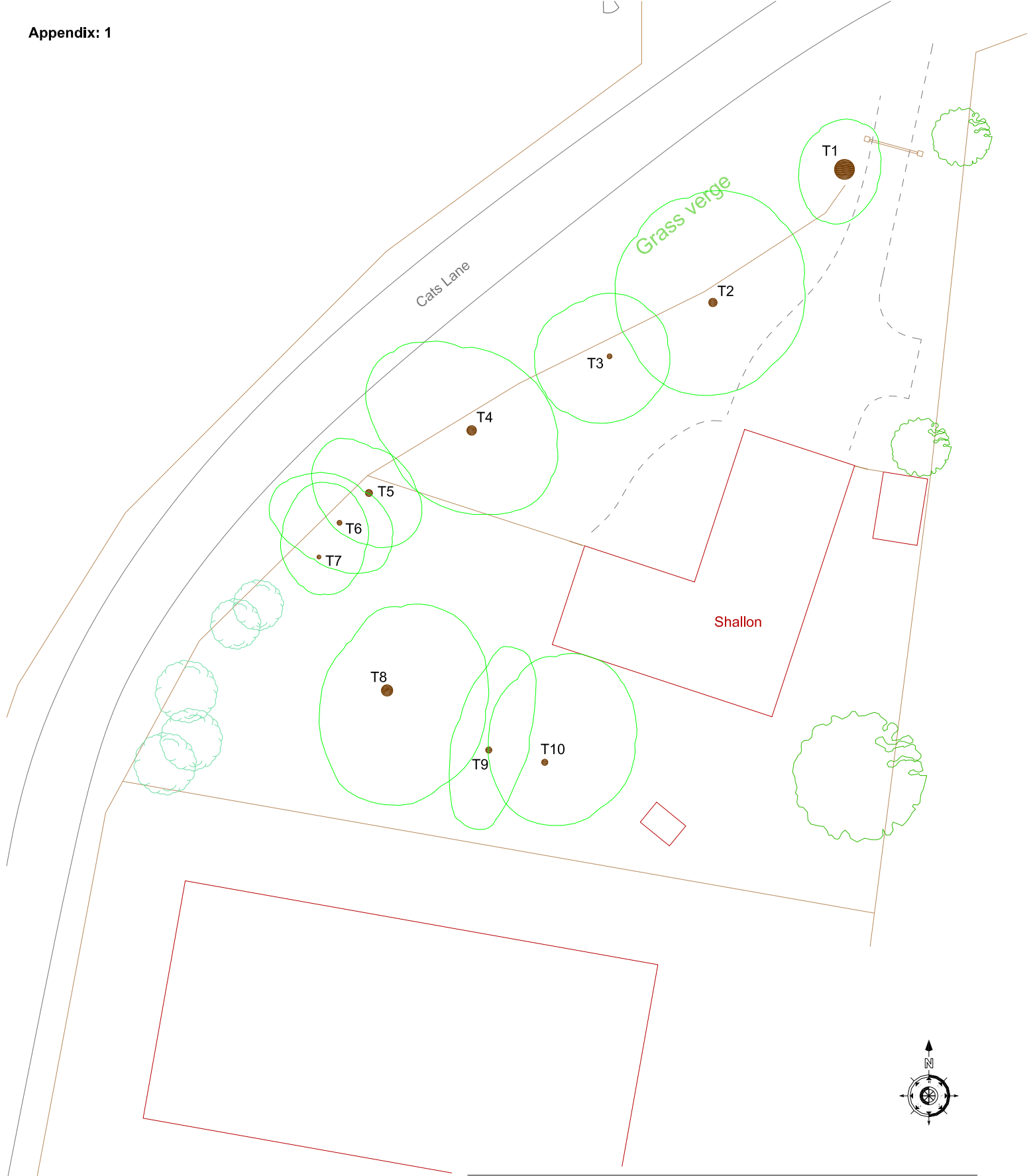
- a) F/YR25/0117/TRTPO - Felling of 1no Cherry Tree and works to 3no Cherry trees, 1no Sycamore tree, 2no Beech trees and 1no White Poplar tree covered by TPO/01/1992 - Shallon, Cats Lane, Tydd St Giles*
- b) F/YR25/0137/RM - Reserved Matters application relating to detailed matters of access, appearance, landscaping, layout and scale pursuant to outline permission F/YR24/0291/O to erect 4 x dwellings - Land North of Tydd Steam Brewery, Kirkgate, Tydd St Giles*
- c) F/YR25/0155/F - Erection of part first storey, part 2-storey side extension, single-storey rear extension, installation of bay window to front, and external alterations including rendering of dwelling with brick plinth - Pretoria House, Church Lane, Tydd St Giles*

008/24 Update on Recent Planning Applications

To receive an update on applications considered at previous meetings.

009/24 Other Planning Matters

To consider any other matters within the remit of the Planning Committee.



Inspected trees

Existing buildings & structures

Fences/field boundaries

PROJECT	
Shallon, Tydd St. Giles	
TITLE	
Tree location plan	
SCALE	
1:400, drawn @ A4	
DATE SURVEYED	DRAWN BY
18th December 2024	J.U.
PROJECT NUMBER	DRAWING NUMBER
KTG/TLP/020125	001

RAVENCROFT TREE
SERVICES LIMITED.

6 Reepeham Road, Foulsham
Dereham, Norfolk NR20 5SL
Tel/Fax: 01362 684291
Email: jon@ravencrofttrees.co.uk

Ravencroft Tree Services Ltd. is registered at Summer Hill House, Fakenham, NR21 9HA No.4936062
The original of this drawing was produced in colour, monochrome copies may be unreliable
This plan is not to be scaled from - all dimensions to be checked
<https://ravencrofttrees.co.uk/consultancy/terms-and-conditions/>

Are you providing additional information in support of your application (e.g. an additional schedule of work for the question 'Identification of Tree(s) and Description of Works')?

☒ Yes

☐ No

If Yes, please provide the reference numbers of plans, documents, professional reports, photographs etc in support of your application

Detailed tree inspection report by Ravencroft Tree Services Ltd

Identification of Tree(s) and Description of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out

T2 sycamore "Reduce height by no more than 2m & upper laterals by no more than 1 - 1.5m to maintain good shape & form. Remove dead wood to unions with live wood, leaving branch collars intact "

T4 beech "Crown raise smaller low branches to give 2m clearance from ground level. Reduce height by no more than 2m & lateral branches by no more than 1m"

T5 beech "Reduce height by no more than 2m"

T6 & T7 cherry "Reduce height of T6 by 2m & T7 by 1.5m"

T8 white poplar "Reduce extended limb south / east by no more than 2m and remove dead wood of 30mm dia. & greater from crown"

T9 cherry "Remove dead wood & reduce height by 2m"

T10 cherry "Remove tree to ground level and plant a heavy standard replacement in a more open space"

You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work.

Where trees are protected by a Tree Preservation Order, please number them as shown in the First Schedule to the Tree Preservation Order where this is available. You should use the same numbering on your sketch plan (see below for sketch plan requirements).

Please provide the following information:

- Tree species
- The number used on the sketch plan; and
- A description of the proposed works.

Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

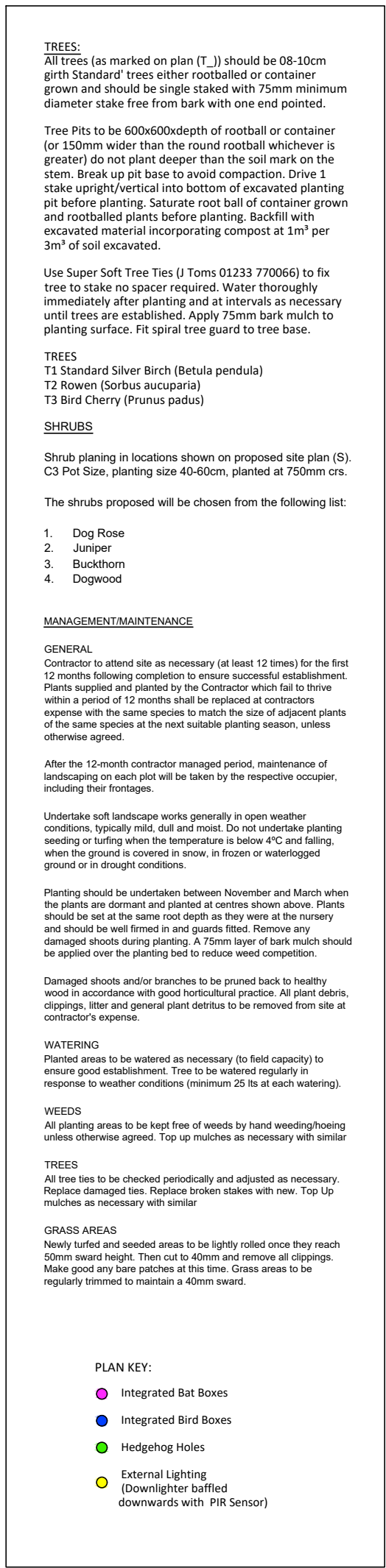
e.g. Oak (T3) – Whole crown reduction to 12m above ground level, to provide sufficient clearance to property.

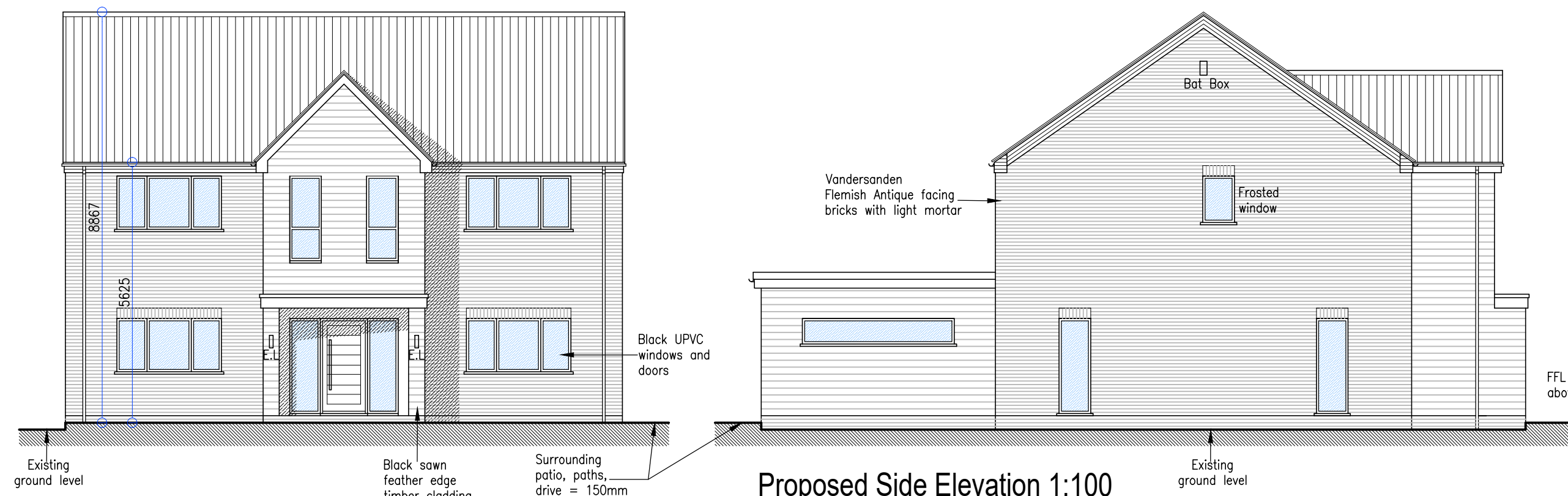
Sketch plan requirements

Your plan needs to show the precise location of the tree(s) in relation to nearby property/roads/boundaries. It should, therefore:

- indicate the main features of the site where the tree(s) stand and its surroundings; in particular, you should:
 - mark and name surrounding roads
 - sketch in buildings, including adjoining properties
 - add house numbers or names
- mark the position of the tree(s) to which you want to carry out work and identify them by the number shown in the Tree Preservation Order where possible; if you use a different number, please make sure that this can be matched with your description of the tree(s)
- if there are many trees on the site, make clear which tree(s) are included in this application by:
 - marking all trees on the plan, but only numbering those to which you want to carry out work
 - showing the approximate distance between the application tree(s) and buildings
 - adding other relevant features on the site (e.g. greenhouse, paths)

If it is impossible to identify the tree(s) accurately on the plan (e.g. because they are part of a woodland or group of trees), please identify their approximate location on the plan and provide details of how the tree(s) are marked on site (e.g. high visibility tape, tree tags, paint, etc); trees must not be marked by scarring or cutting into the bark.





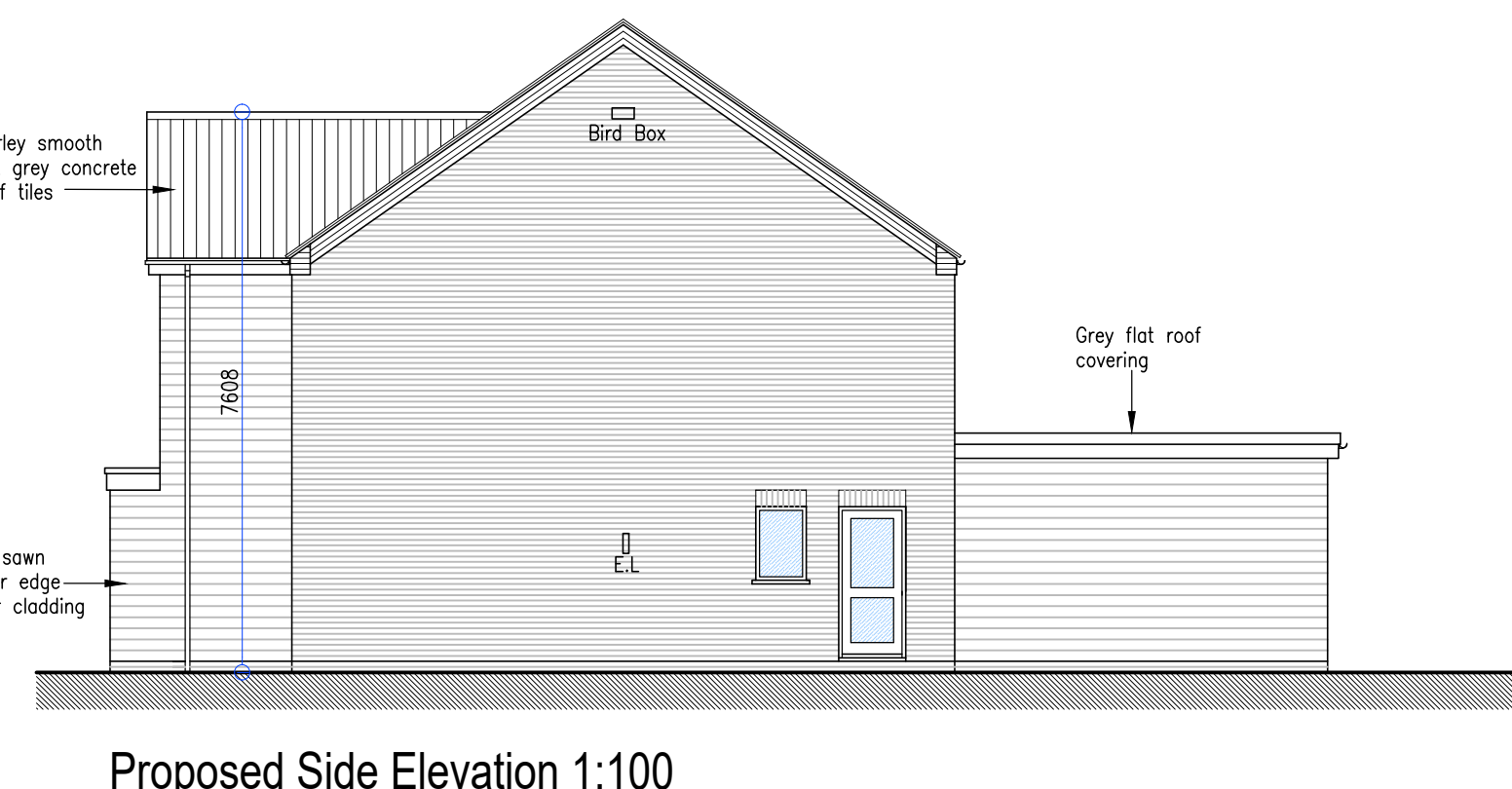
Proposed Front Elevation 1:100

Plot 1 = Handed
Plot 2 = As shown

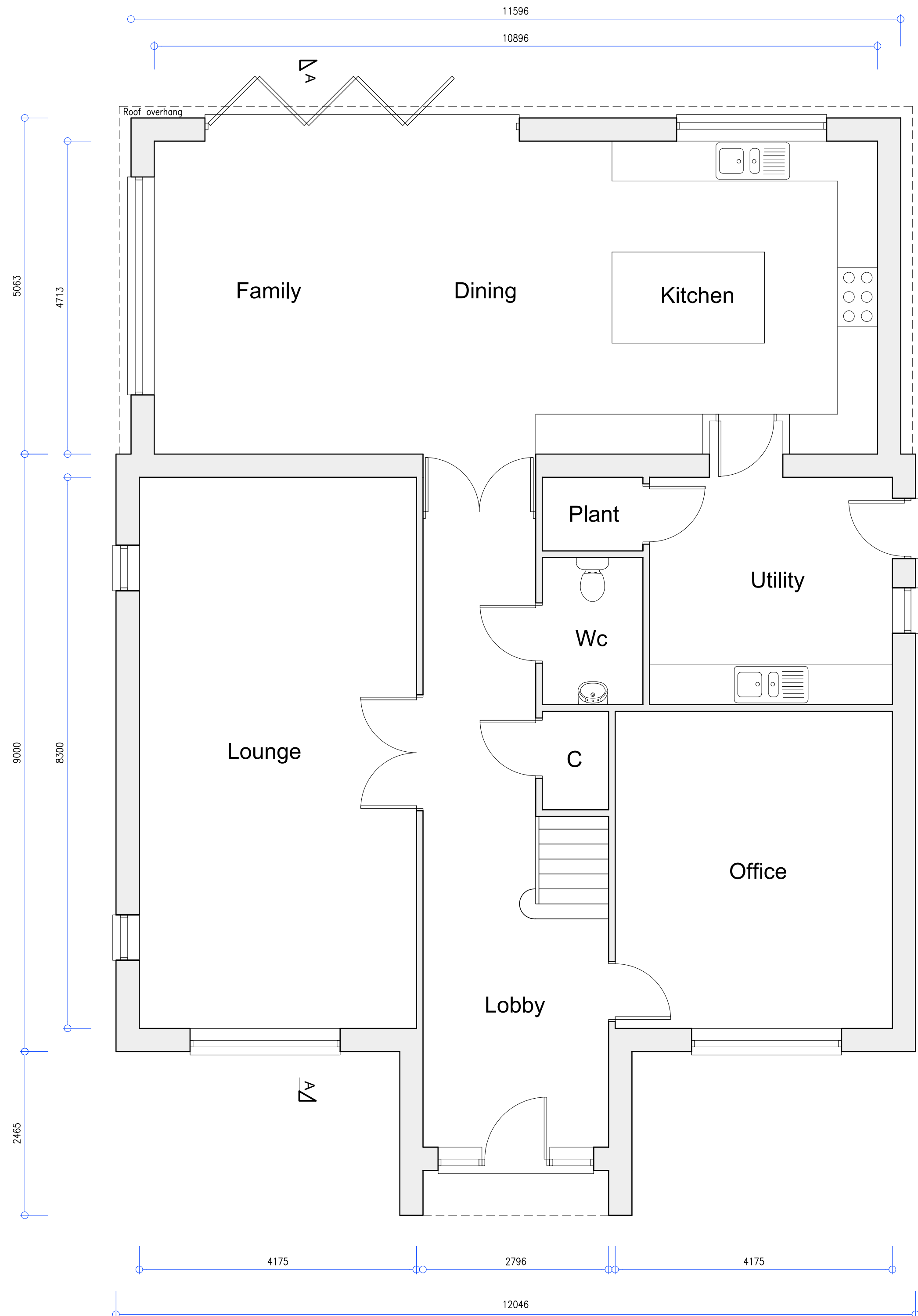
Proposed Side Elevation 1:100



Proposed Rear Elevation 1:100

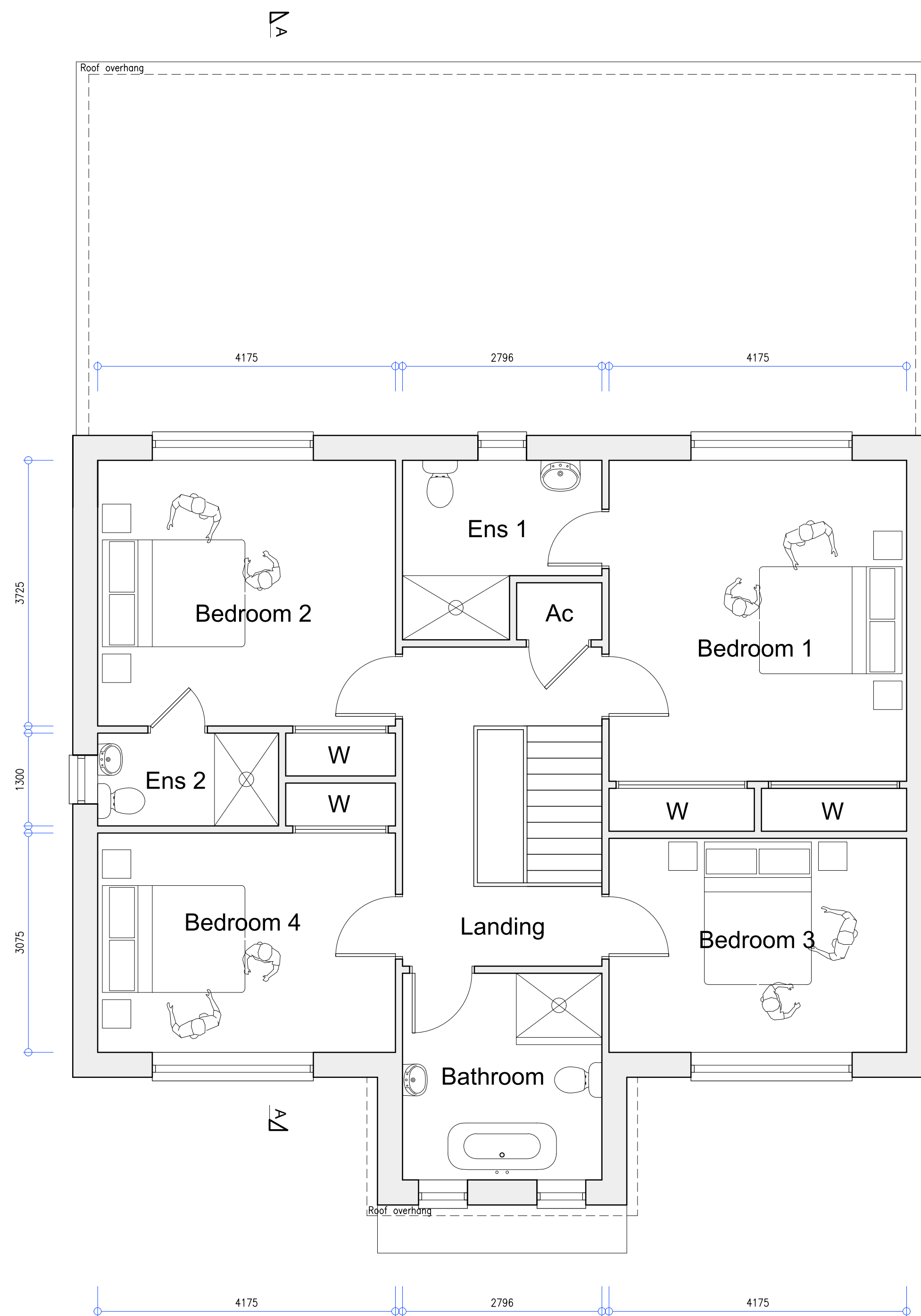


Proposed Side Elevation 1:100



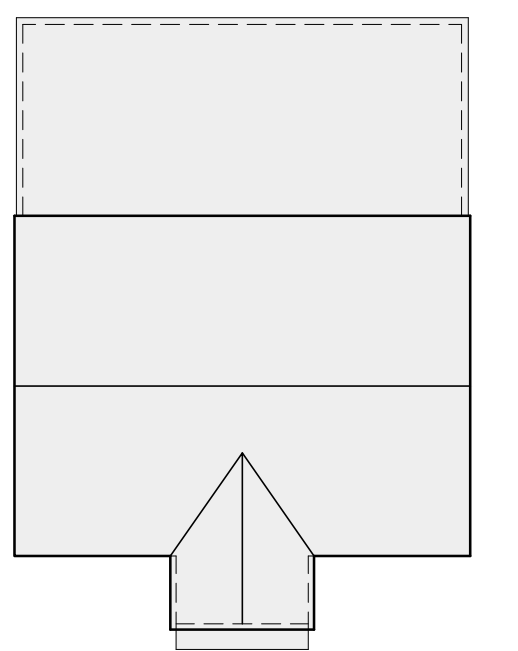
Proposed Ground Floor Plan 1:50

Plot 1 = Handed
Plot 2 = As shown



Proposed First Floor Plan 1:50

Plot 1 = Handed
Plot 2 = As shown



Proposed Roof Plan 1:200

Plot 1 = Handed
Plot 2 = As shown

A. REVISIONS		
JOB NO.	PAPER SIZE	DATE
7039/04J	A1	AUG 2024

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CLIENT
MR J ENGLAND
J ENGLAND CONSTRUCTION LTD
PROJECT
PROPOSED BUILDING PLOTS

SITE
LAND NORTH OF TYDD STEAM
KIRK GATE
TYDD ST GILES
CAMBS
PE13 5NE

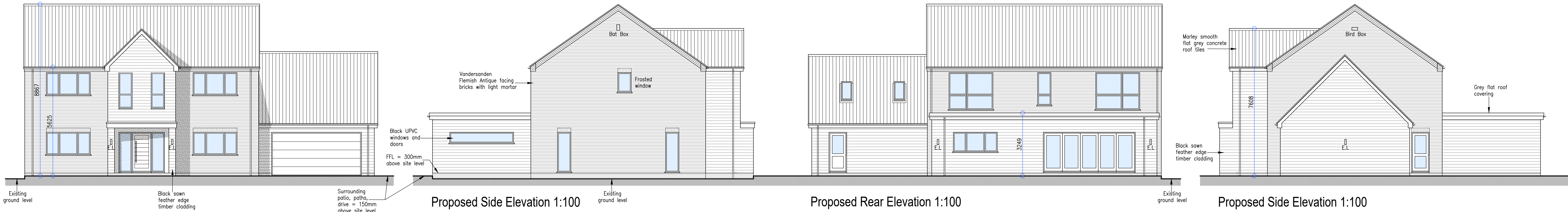
DRAWINGS
PROPOSED DWELLING - PLOTS 1 & 2



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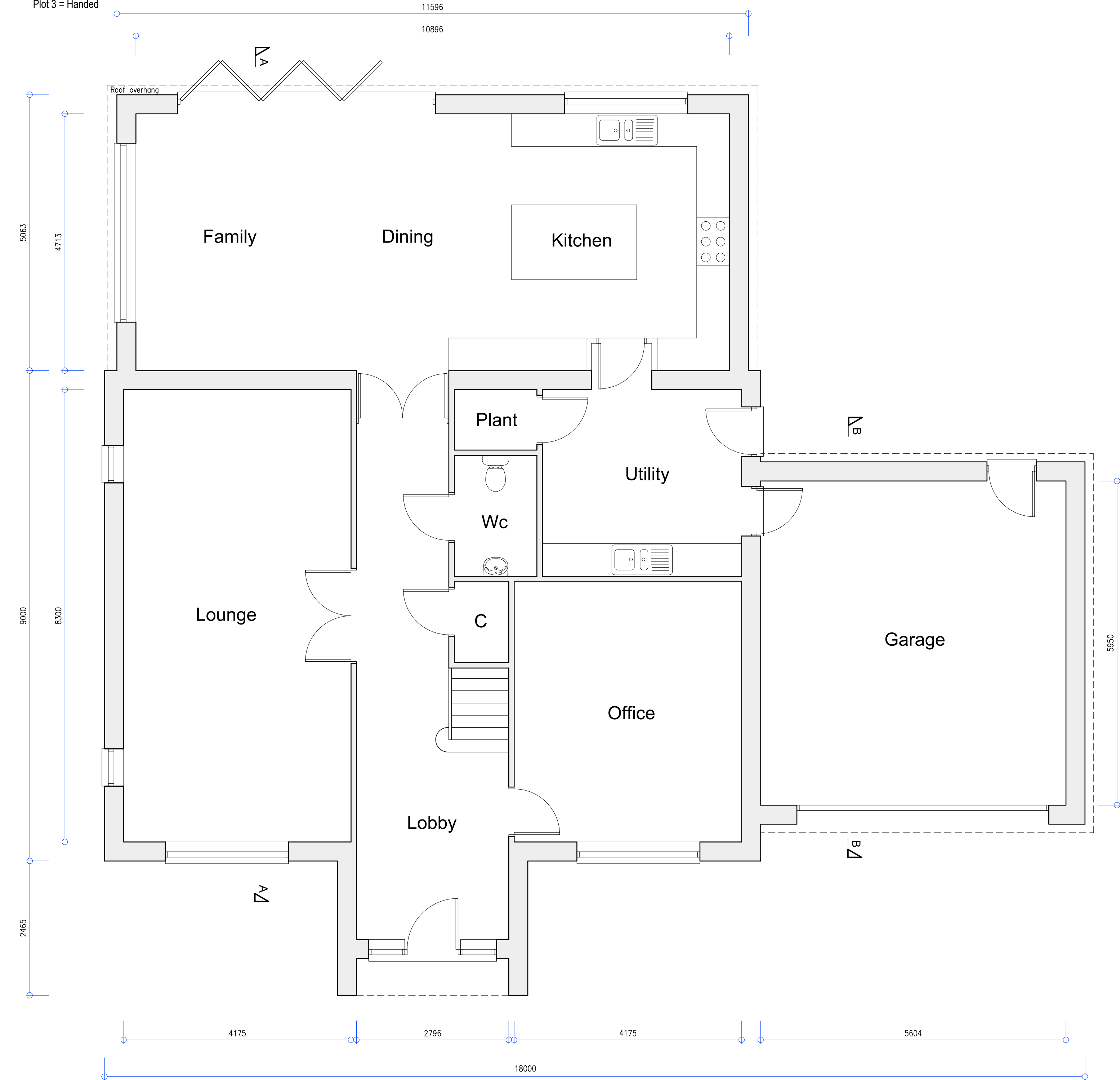
Proposed Front Elevation 1:100

Plot 4 = As shown
Plot 3 = Handed

Proposed Side Elevation 1:100

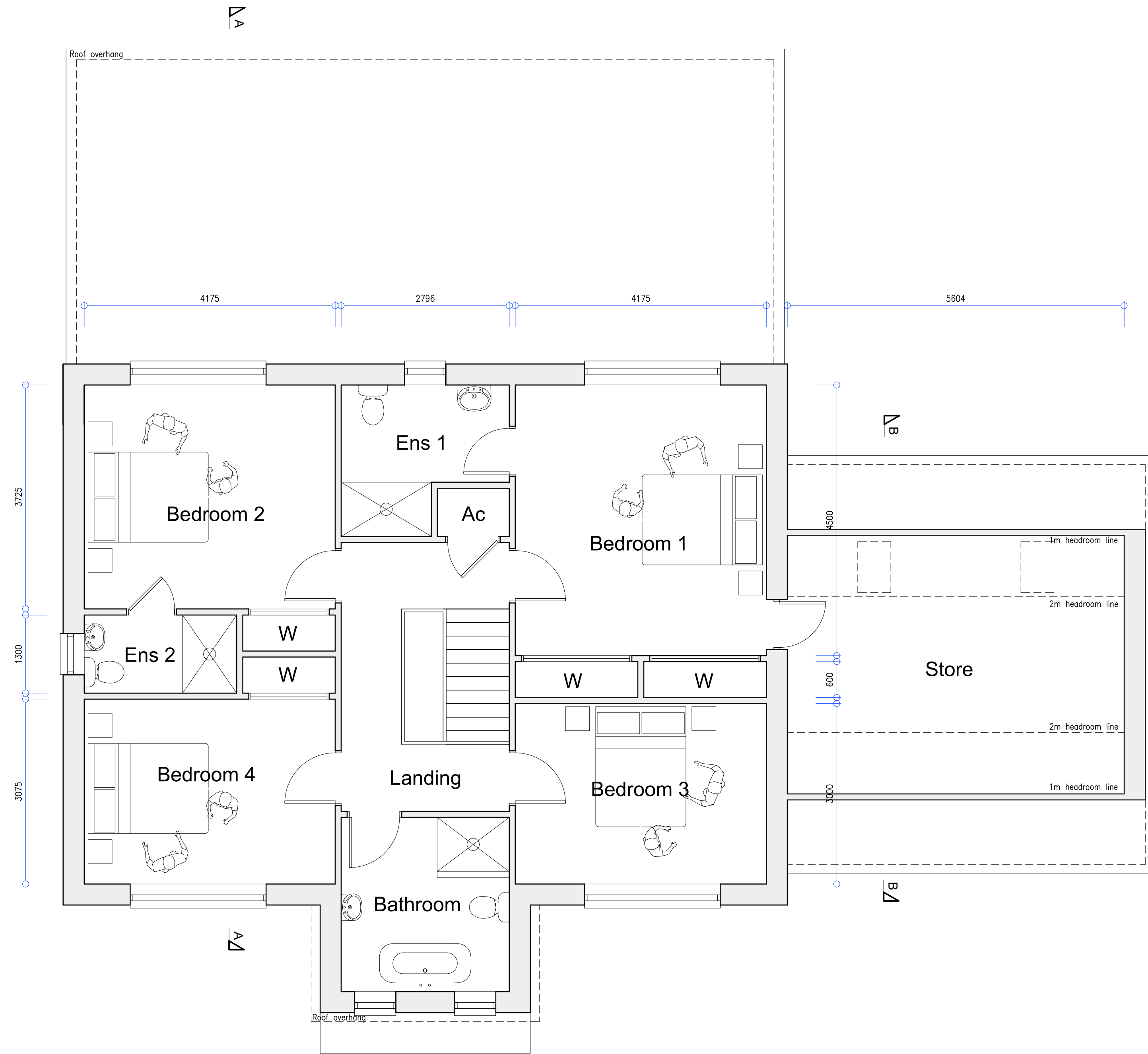
Proposed Rear Elevation 1:100

Proposed Side Elevation 1:100



Proposed Ground Floor Plan 1:50

Plot 4 = As shown
Plot 3 = Handed



Proposed First Floor Plan 1:50

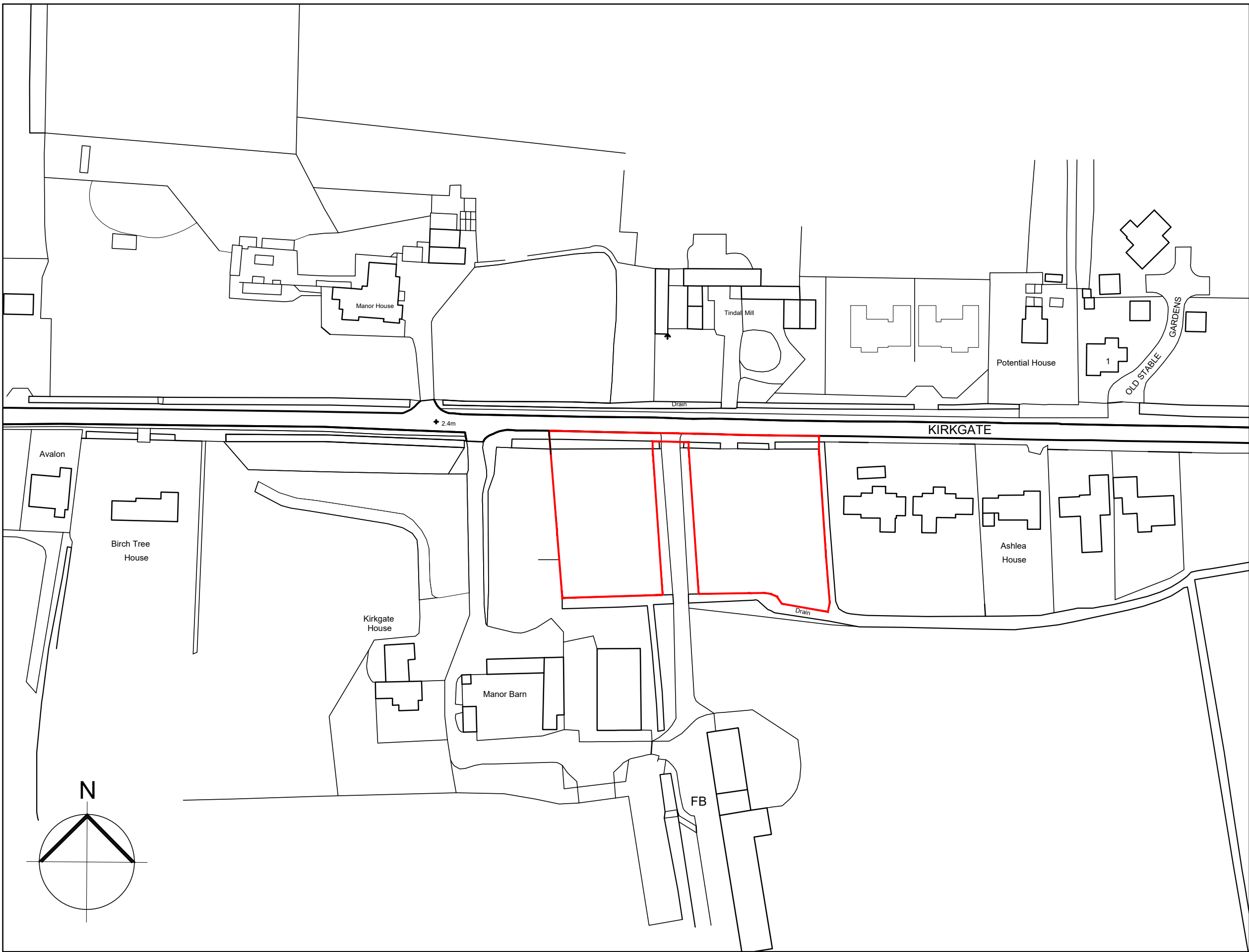
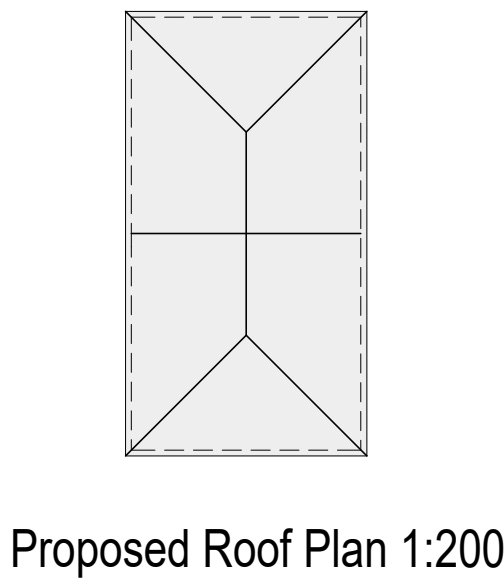
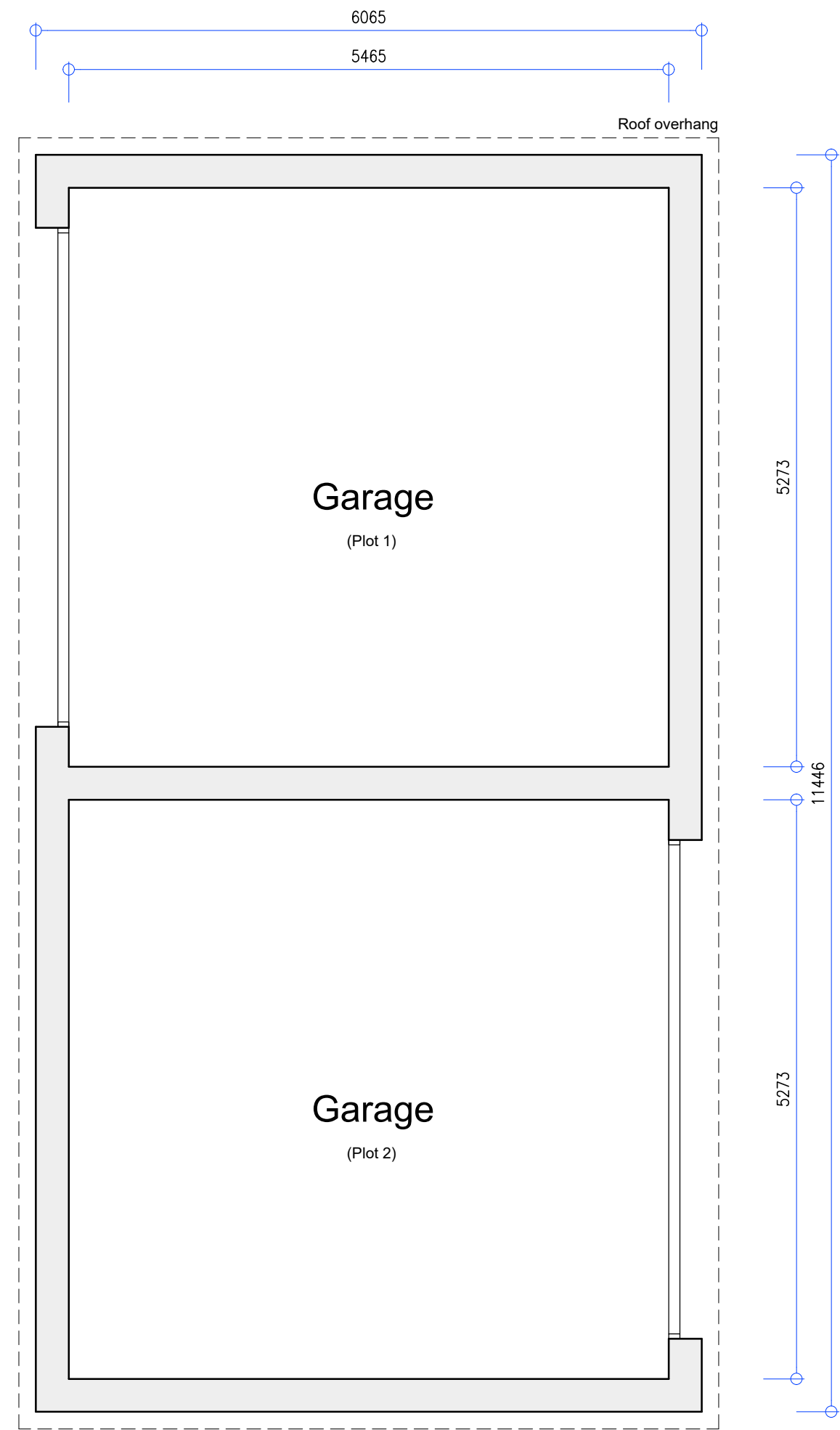
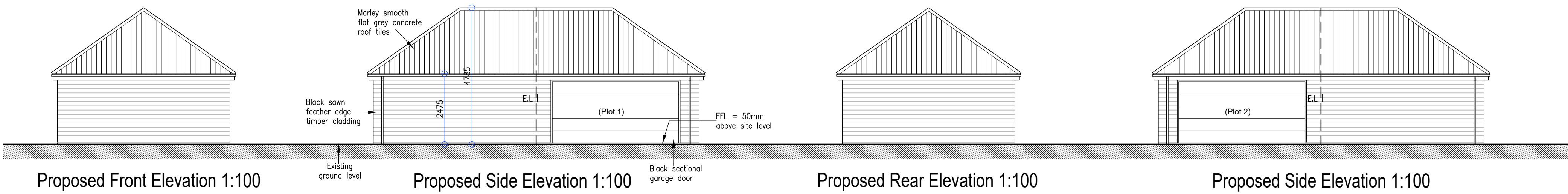
Plot 4 = As shown
Plot 3 = Handed

CLIENT MR J ENGLAND J ENGLAND CONSTRUCTION LTD		
PROJECT PROPOSED BUILDING PLOTS		
SITE LAND NORTH OF TYDD STEAM KIRKGATE TYDD ST GILES CAMBS PE13 5NE		
DRAWING PROPOSED DWELLING - PLOTS 3 & 4		
JOBS NO. 7039/05D	PAPER SIZE A1	DATE AUG 2024
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PHA
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Proposed Garage For Plot 1 & 2



A-

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JOB NO

7039/03D

PAPER SIZE

A1

DATE

FEB 2024

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CLIENT

MR J ENGLAND

J ENGLAND CONSTRUCTION LTD

PROJECT

PROPOSED BUILDING PLOTS

SITE

LAND NORTH OF TYDD STEAM KIRKGATE

TYDD ST GILES

CAMBS

PE13 5NE

DRAWING

GARAGE & LOCATION PLAN

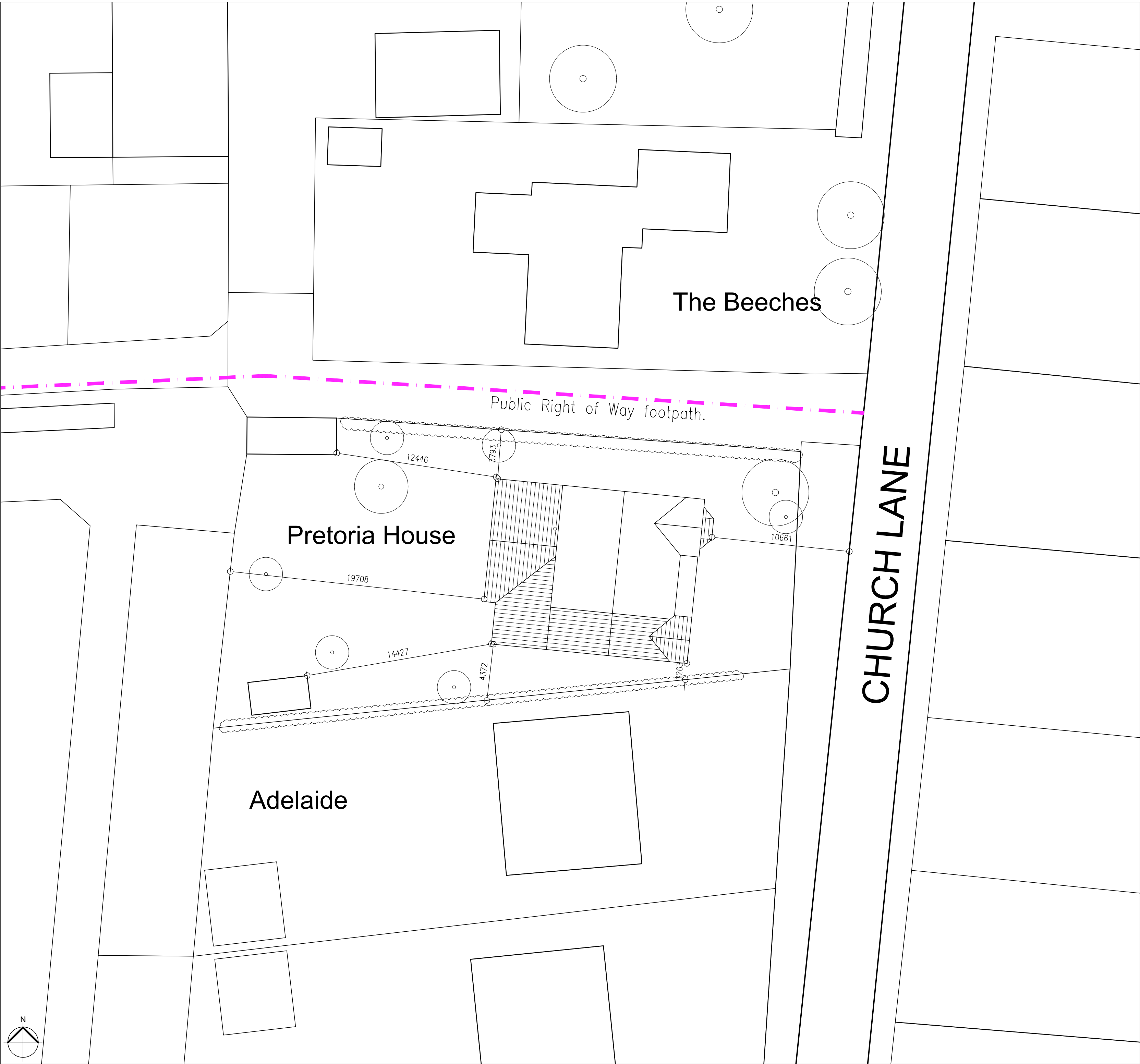
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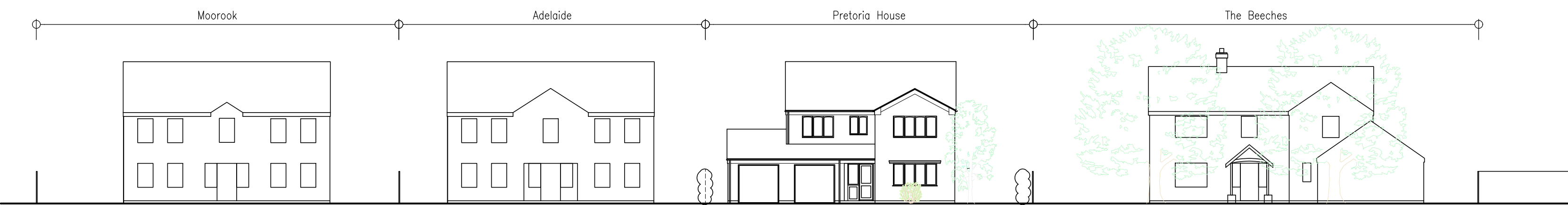
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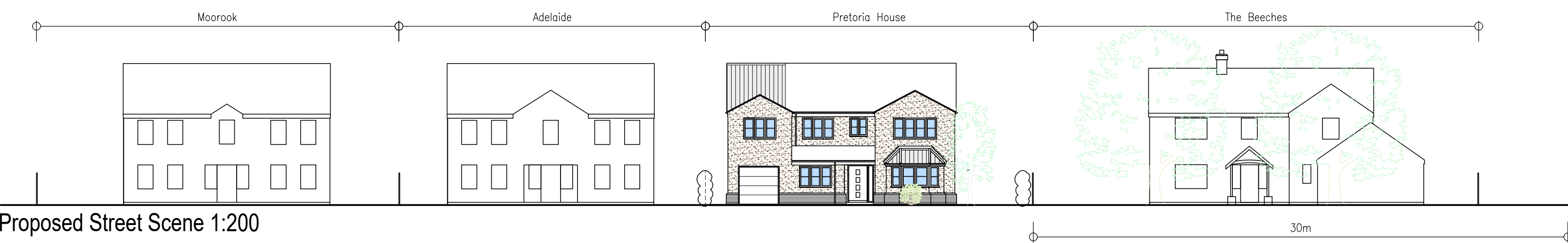
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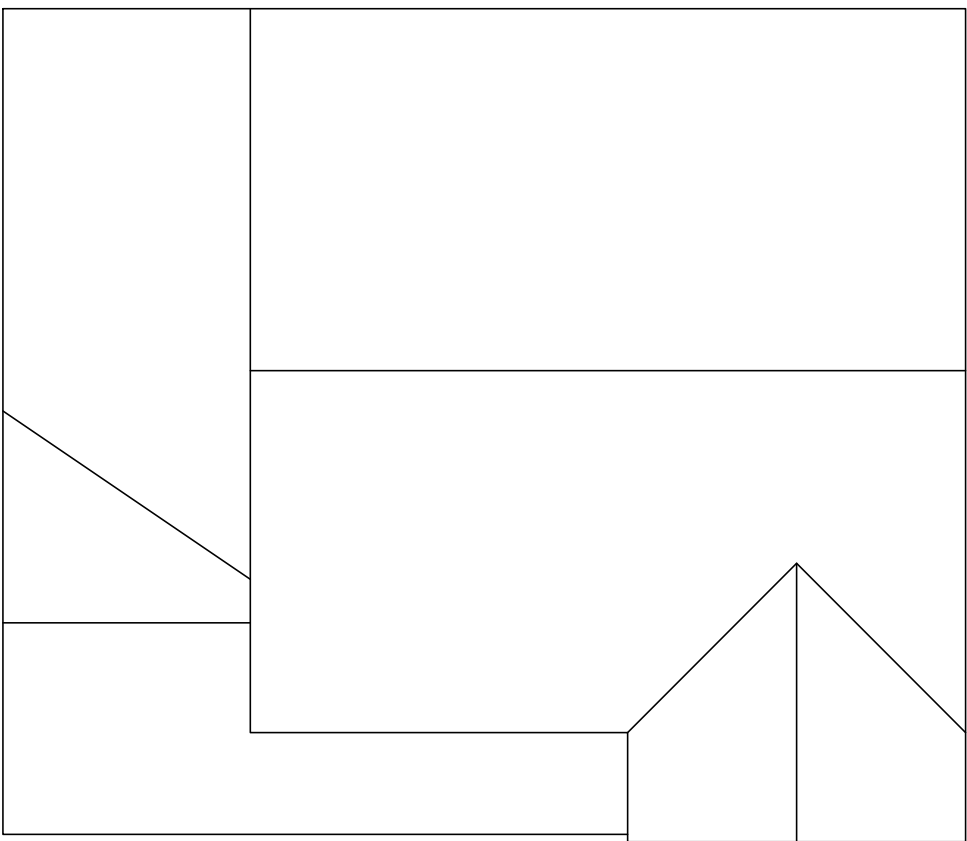
Proposed Site Plan 1:200 - *Site is level throughout, levels to remain as existing. Extension floor level to match existing.



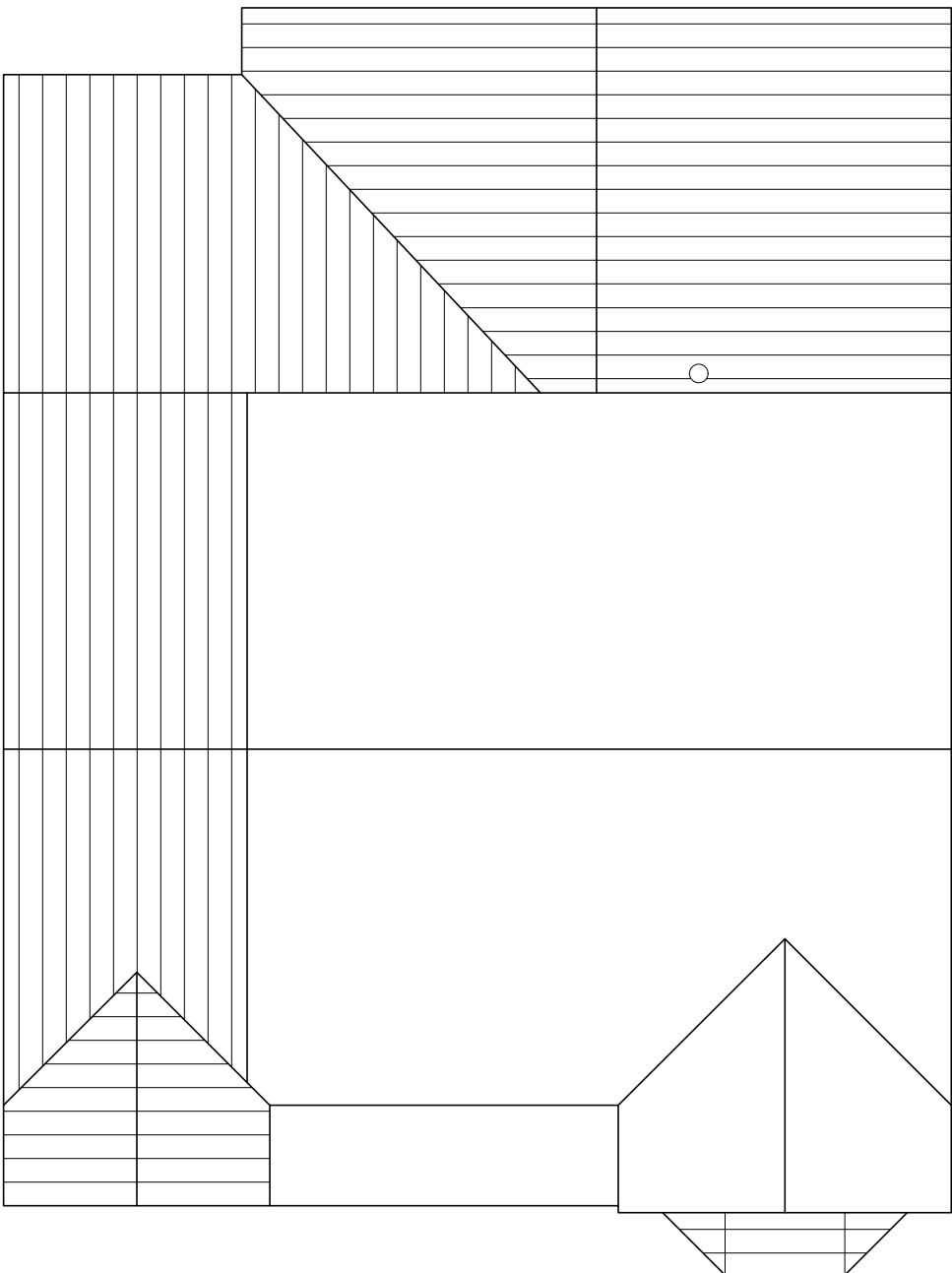
Existing Street Scene 1:200



Proposed Street Scene 1:200



Existing Roof Plan 1:100



Proposed Roof Plan 1:100

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CLIENT
MR W WITHERS

PROJECT
EXTENSION TO DWELLING

SITE
PRETORIA HOUSE
CHURCH LANE
TYDD ST GILES
CAMBS
PE13 5LA

DRAWING
PROPOSED COMBINATION 2

JOB NO.	PAPER SIZE	DATE
7094/PL03	A1	JAN 2025

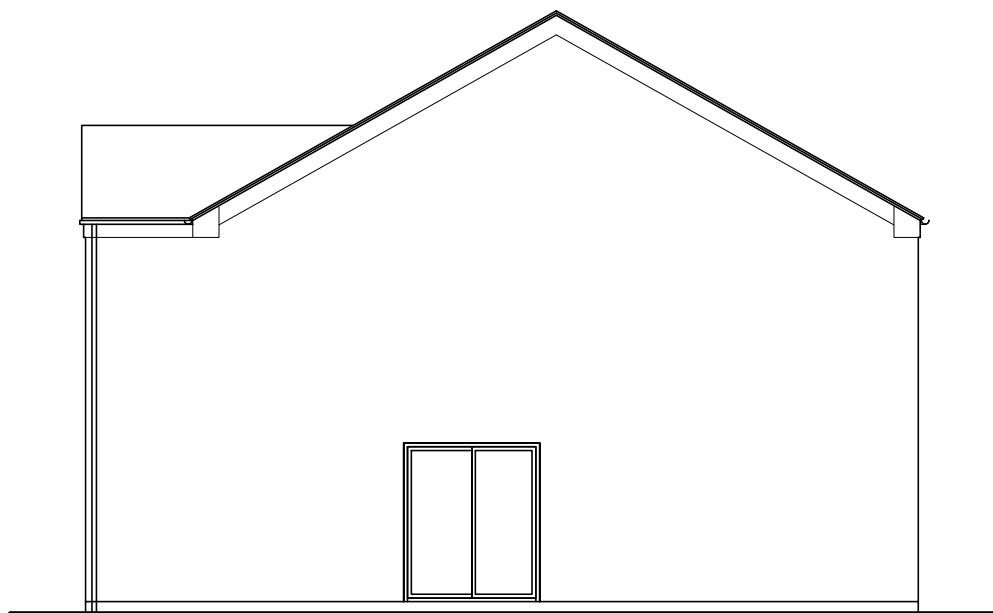
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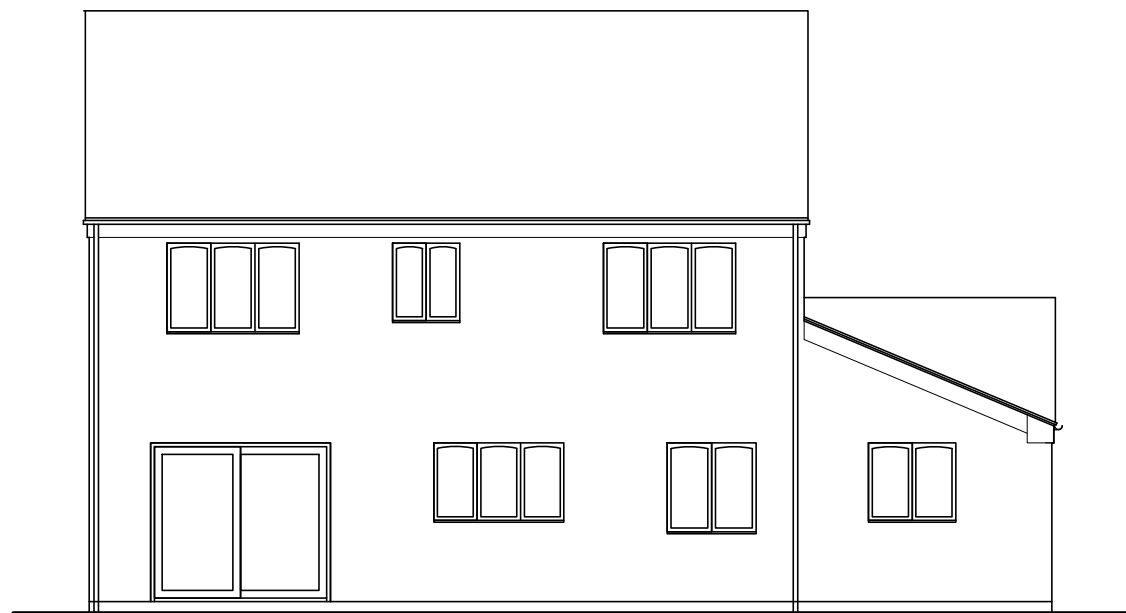
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Existing Front (East) Elevation 1:100



Existing Side (North) Elevation 1:100



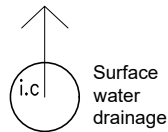
Existing Rear (West) Elevation 1:100



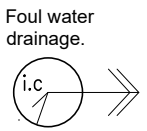
Existing Side (South) Elevation 1:100



Location Plan 1:1250

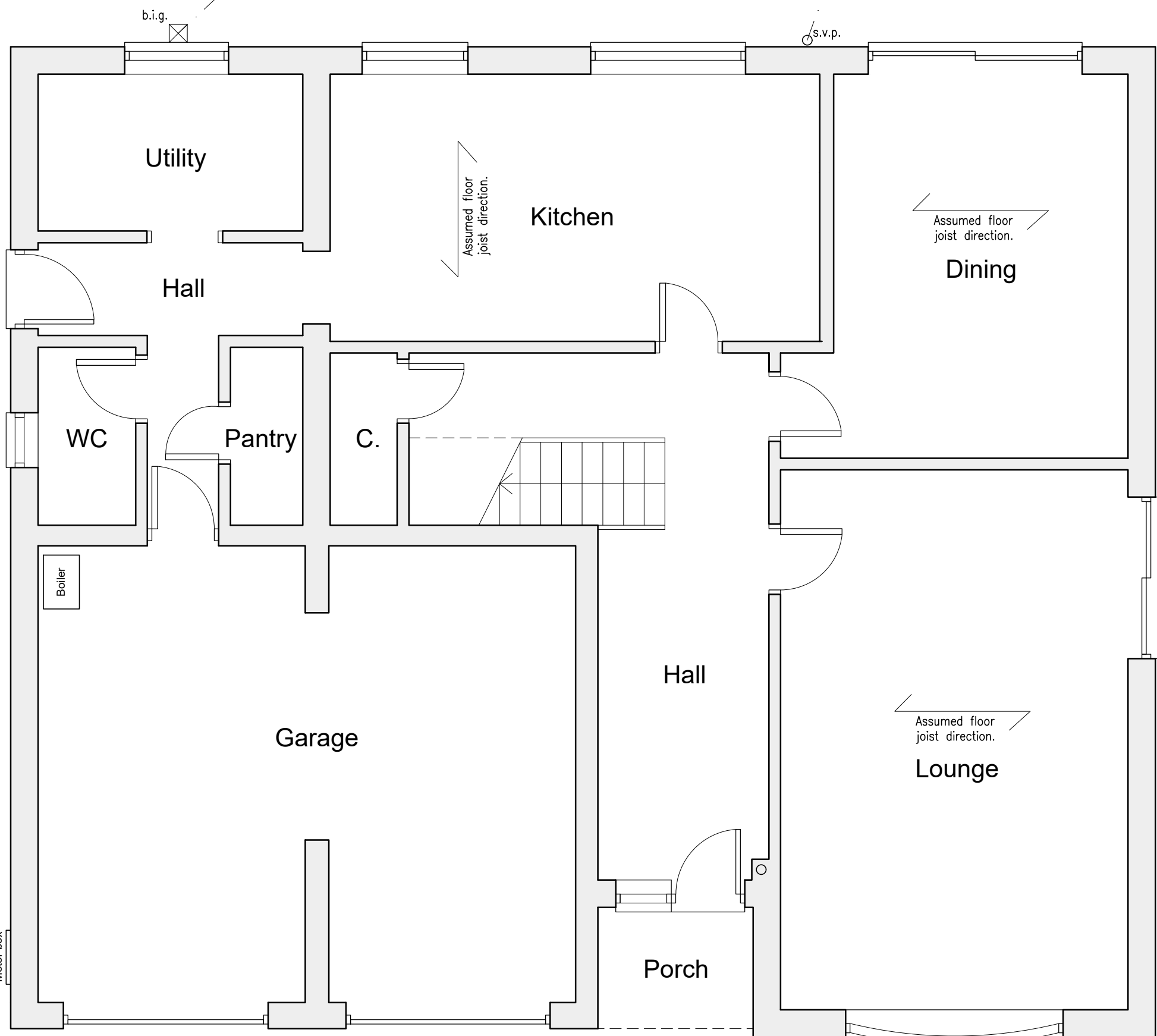


Surface
water
drainage.

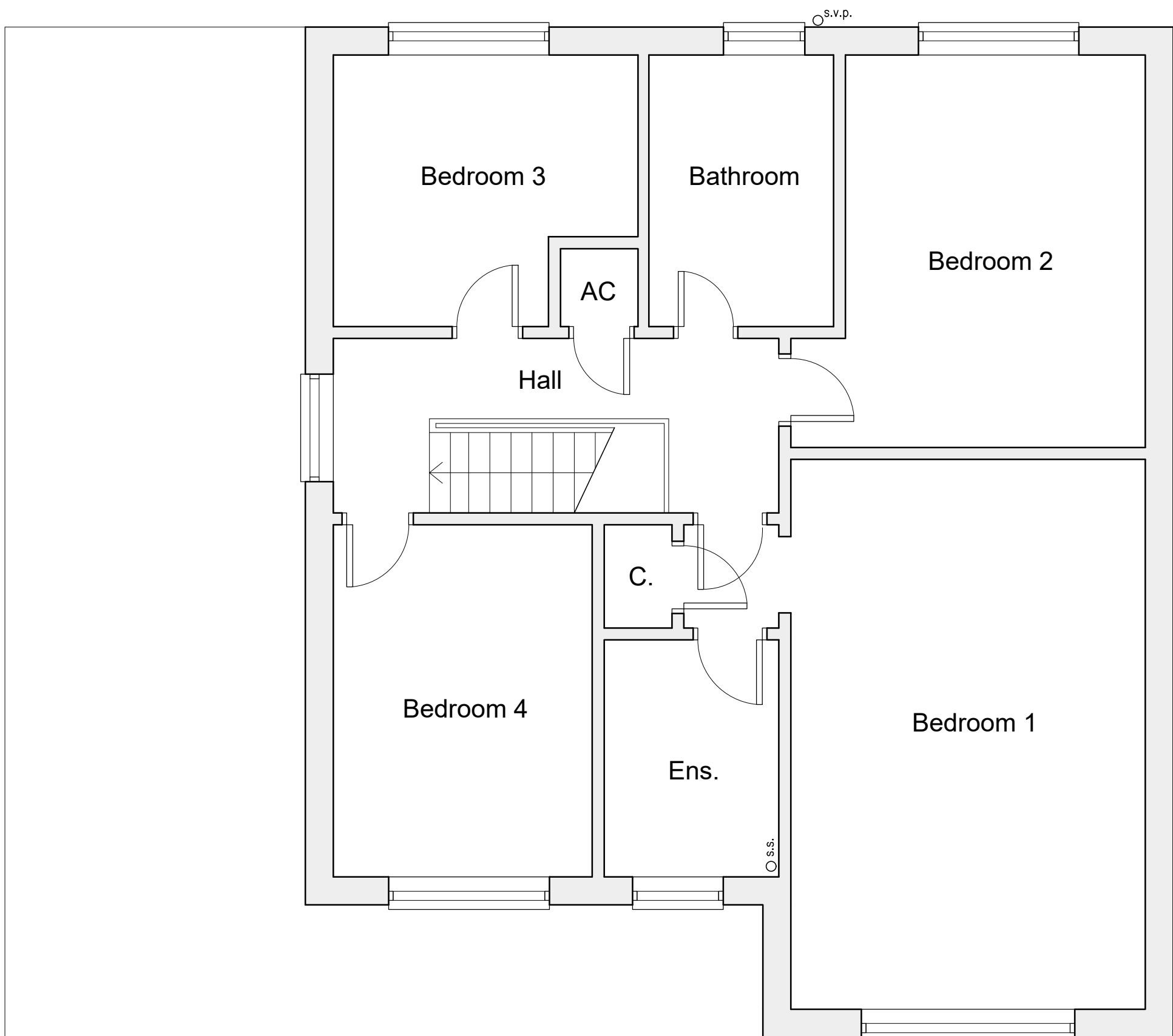


Foul water
drainage.

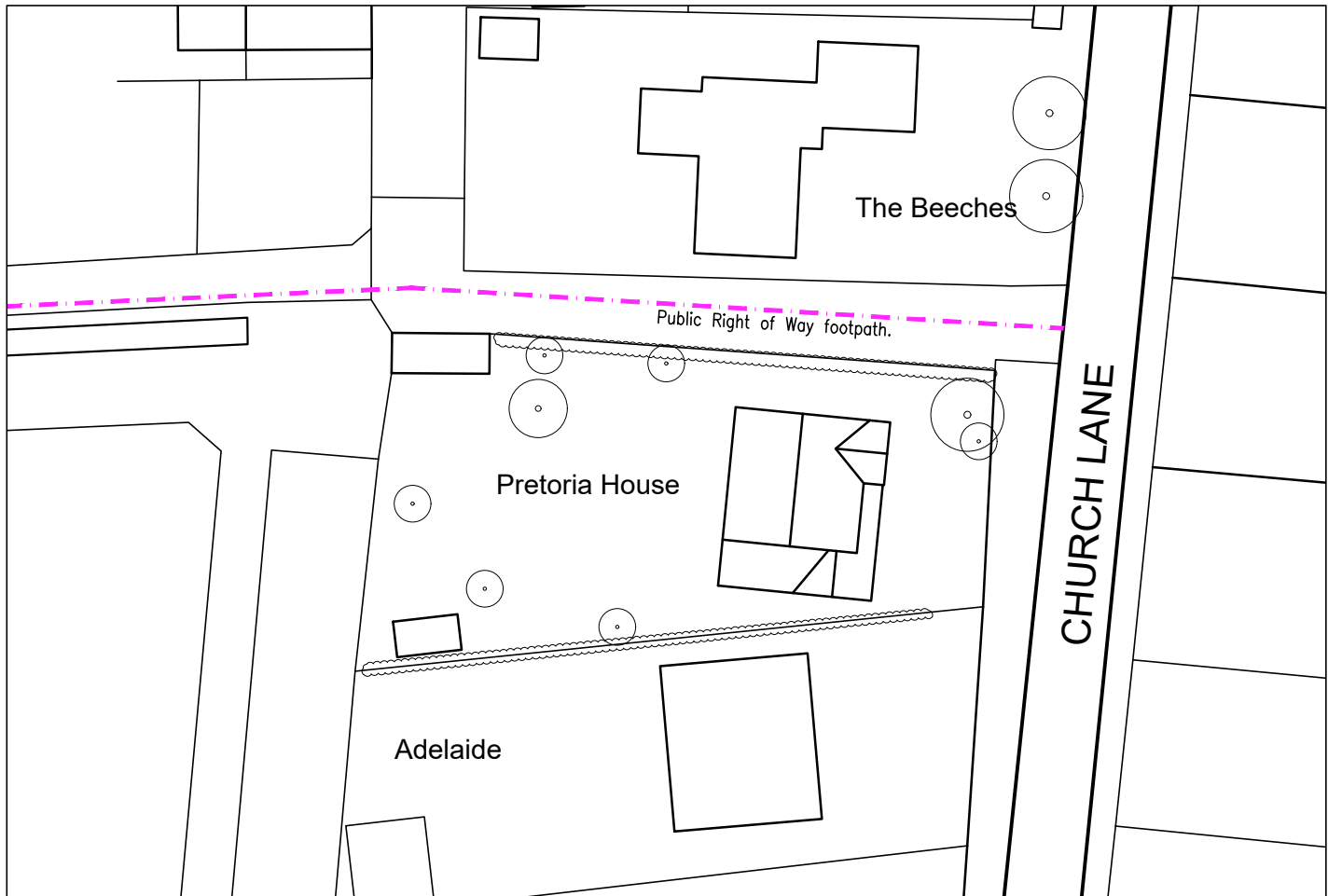
Assumed drainage



Existing Ground Floor Plan 1:50



Existing First Floor Plan 1:50



Existing Site Plan 1:500

A -
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CLIENT

MR W WITHERS

PROJECT

EXTENSION TO DWELLING

SITE

PRETORIA HOUSE
CHURCH LANE
TYDD ST GILES
CAMBS
PE13 5LA

DRAWING

EXISTING COMBINATION DRAWING

JOB NO.	PAPER SIZE	DATE
7094/PL01A	A1	JAN 2025

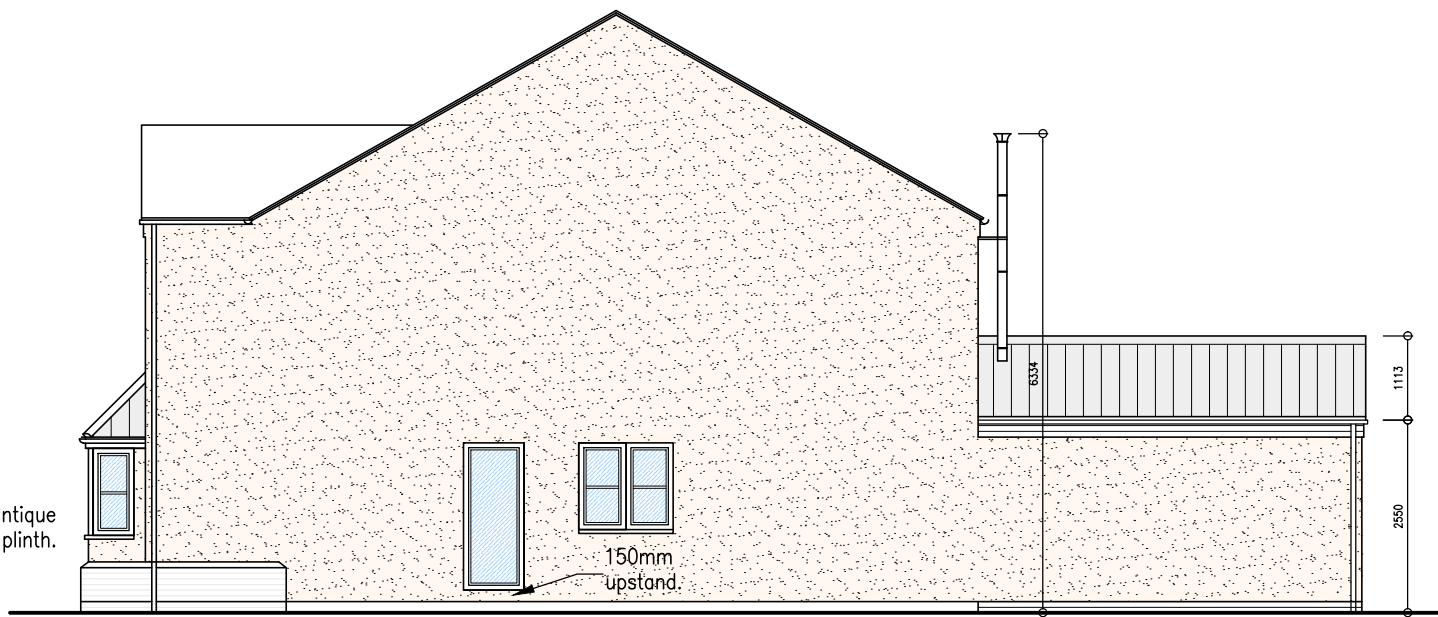
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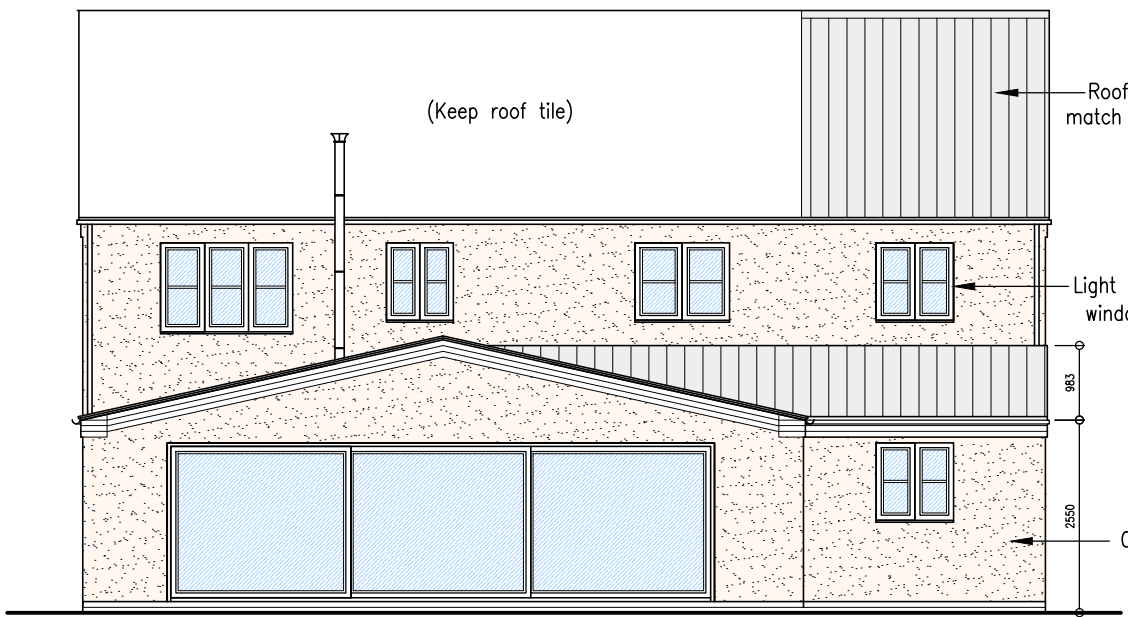
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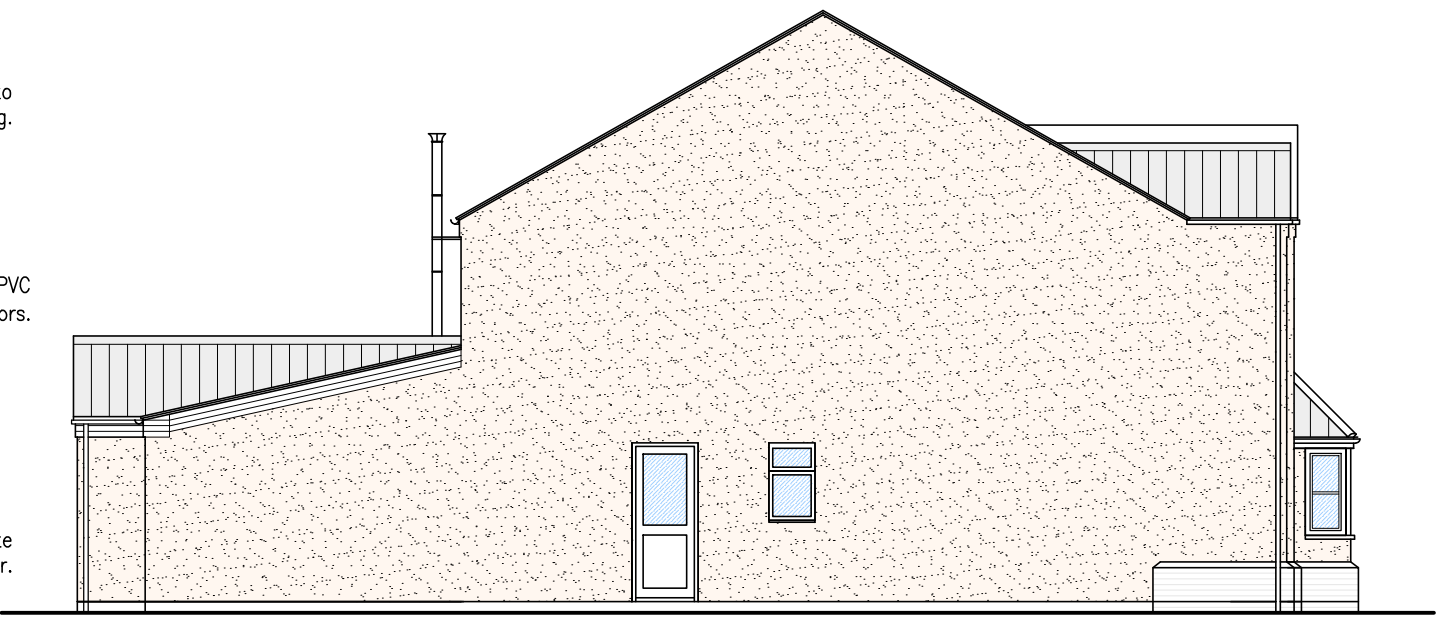
Proposed Front (East) Elevation 1:100



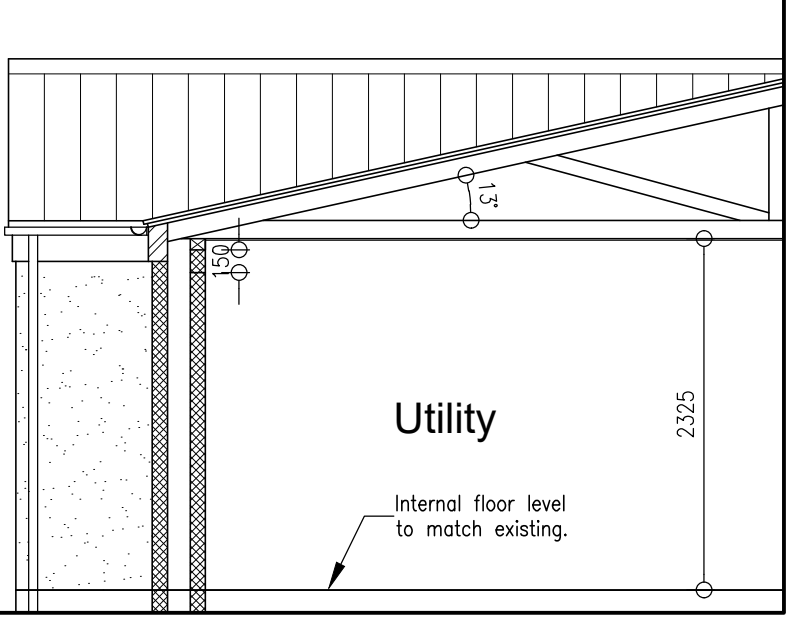
Proposed Side (North) Elevation 1:100



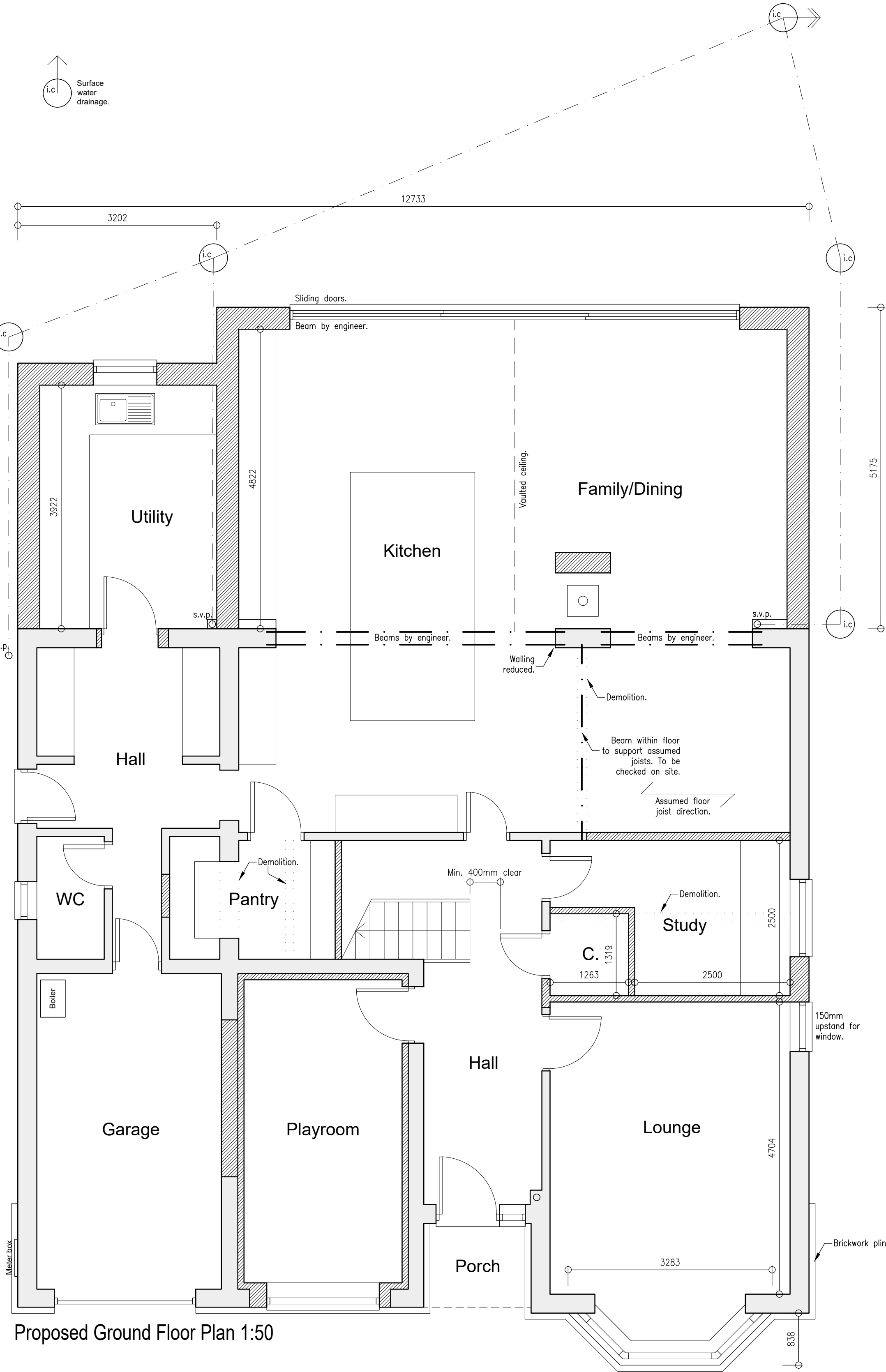
Proposed Rear (West) Elevation 1:100



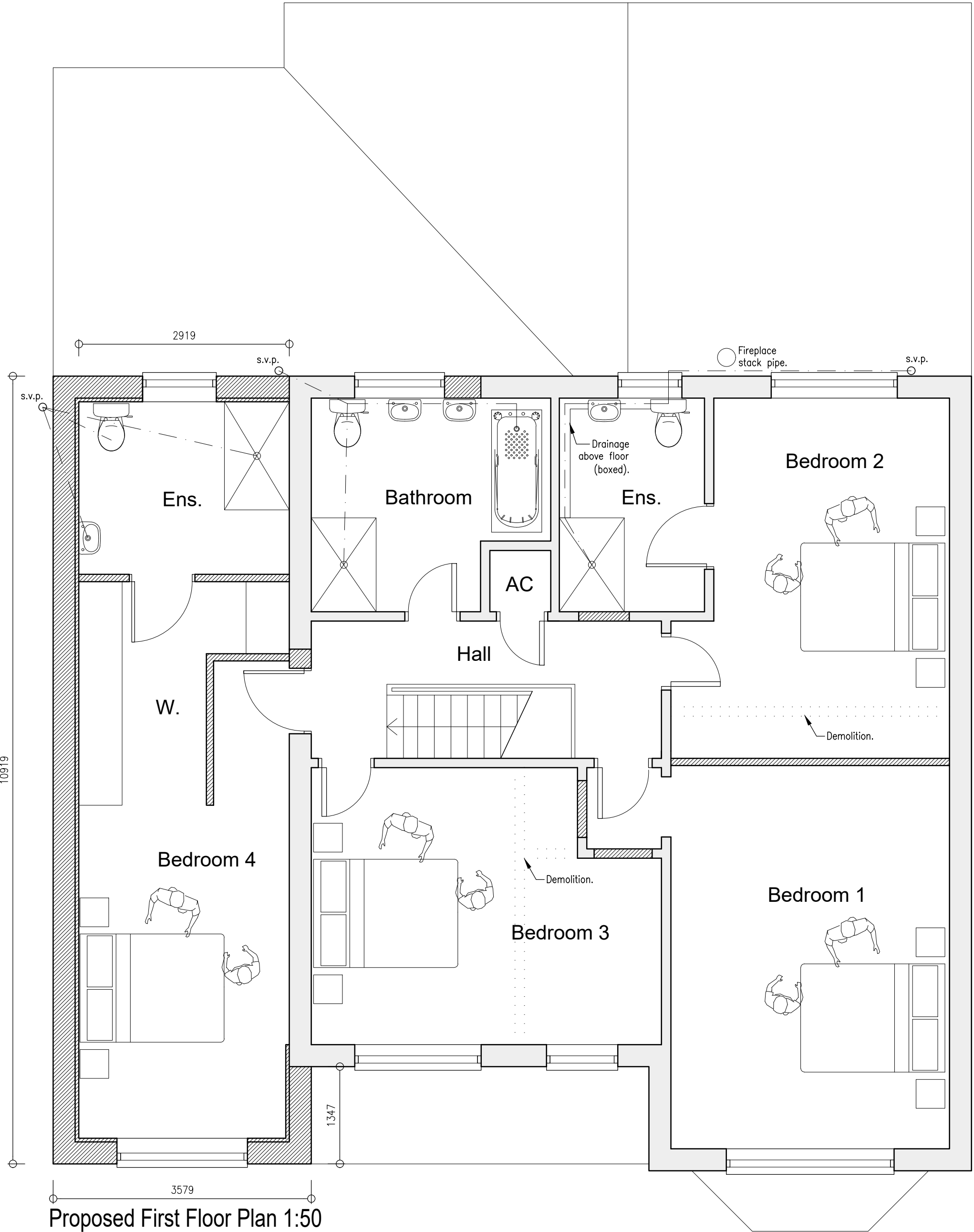
Proposed Side (South) Elevation 1:100



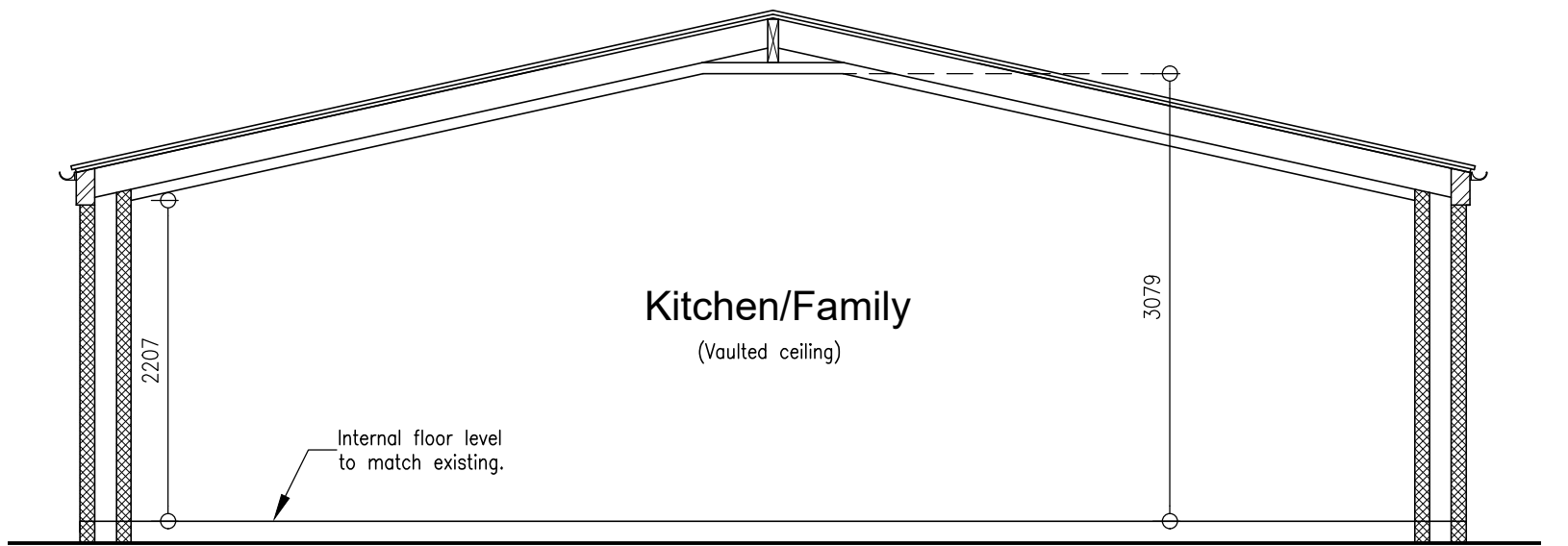
Proposed Section 1:50



Proposed Ground Floor Plan 1:50



Proposed First Floor Plan 1:50



Proposed Section 1:50

A -
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CLIENT
MR W WITHERS

PROJECT
EXTENSION TO DWELLING

SITE
PRETORIA HOUSE
CHURCH LANE
TYDD ST GILES
CAMBS
PE13 5LA

DRAWING
PROPOSED COMBINATION 1

JOB NO. 7094/PL02A	PAPER SIZE A1	DATE JAN 2025
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